

HOUSE SITING PLAN  
PROPOSED LOT 206

Cancelling part of Lot 1003 on SP298957 and  
Lots 1 & 2 on RP79384  
Locality of Narangba

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3. The PHSP is not a statutory disclosure.

Contour Interval – 0.5 metre

- 50.0—

Design Contours
- — —

Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- ####

Pad Level
- S —●—

Sewer Line/ Manhole
- SW —●—

Stormwater Line / Manhole
- W —●—

Water Line / Fire Hydrant/ Stop Valve
- (SR) —

Rising Sewer
- X —

Water Meter
- — —

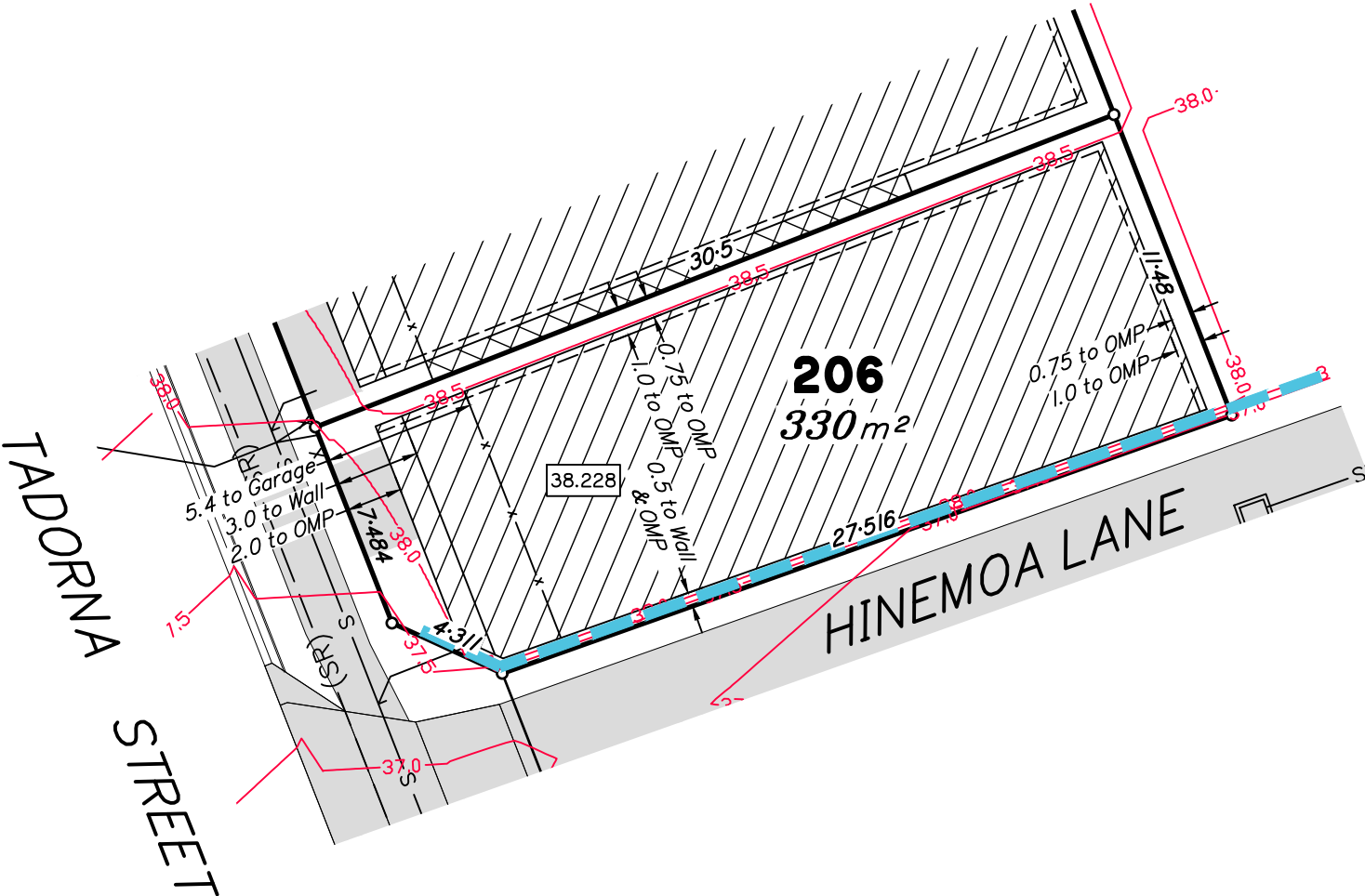
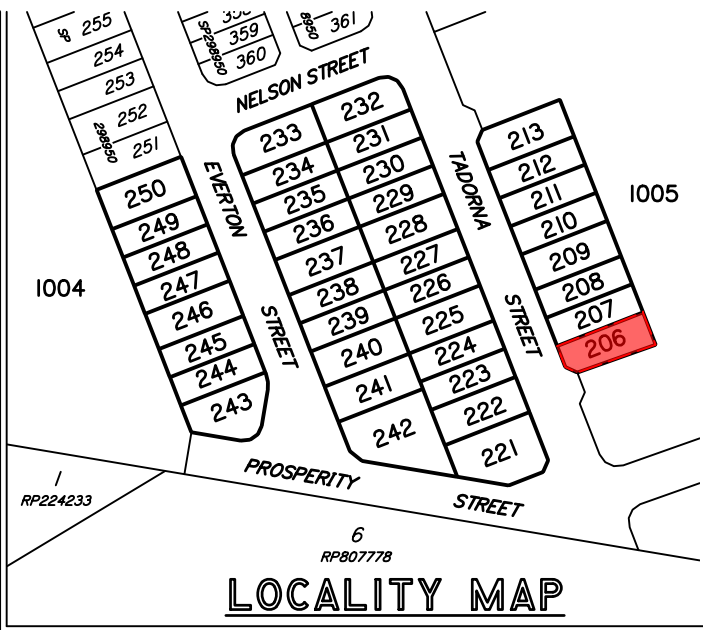
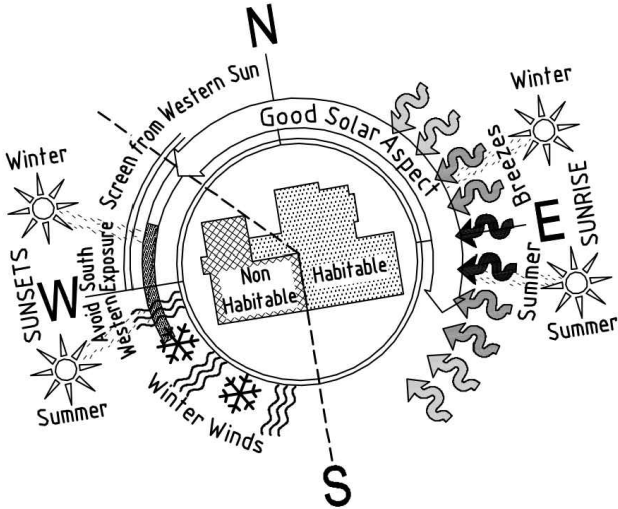
Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x — x —

Garage Limit

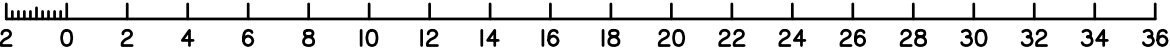
Meridian: MGA Zone 56

Yes ☒ No ☐

Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.





urban planning, surveying  
& development

Brisbane

Mackay

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A	ORIGINAL ISSUE	08/10/20	AV	TV
Issue	Details	Date	Drawn	Checked

HOUSE SITING PLAN  
DAHUA POINTCORP NARANGBA PTY LTD  
STAGE 8A "AMITY"  
CALLAGHAN ROAD, NARANGBA

Dwg No: A3-6099/206	Issue: A
Project: BNE150725	
File: B150725Sk9.dwg	

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**50.0** Design Contours

Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)

##.### Pad Level

S Sewer Line/ Manhole

SW Stormwater Line / Manhole

W Water Line / Fire Hydrant/ Stop Valve

(SR) Rising Sewer

X Water Meter

Easement Boundary

Concrete Footpath or Driveway

Building Location Envelope

Built to Boundary Mandatory

Lower Level

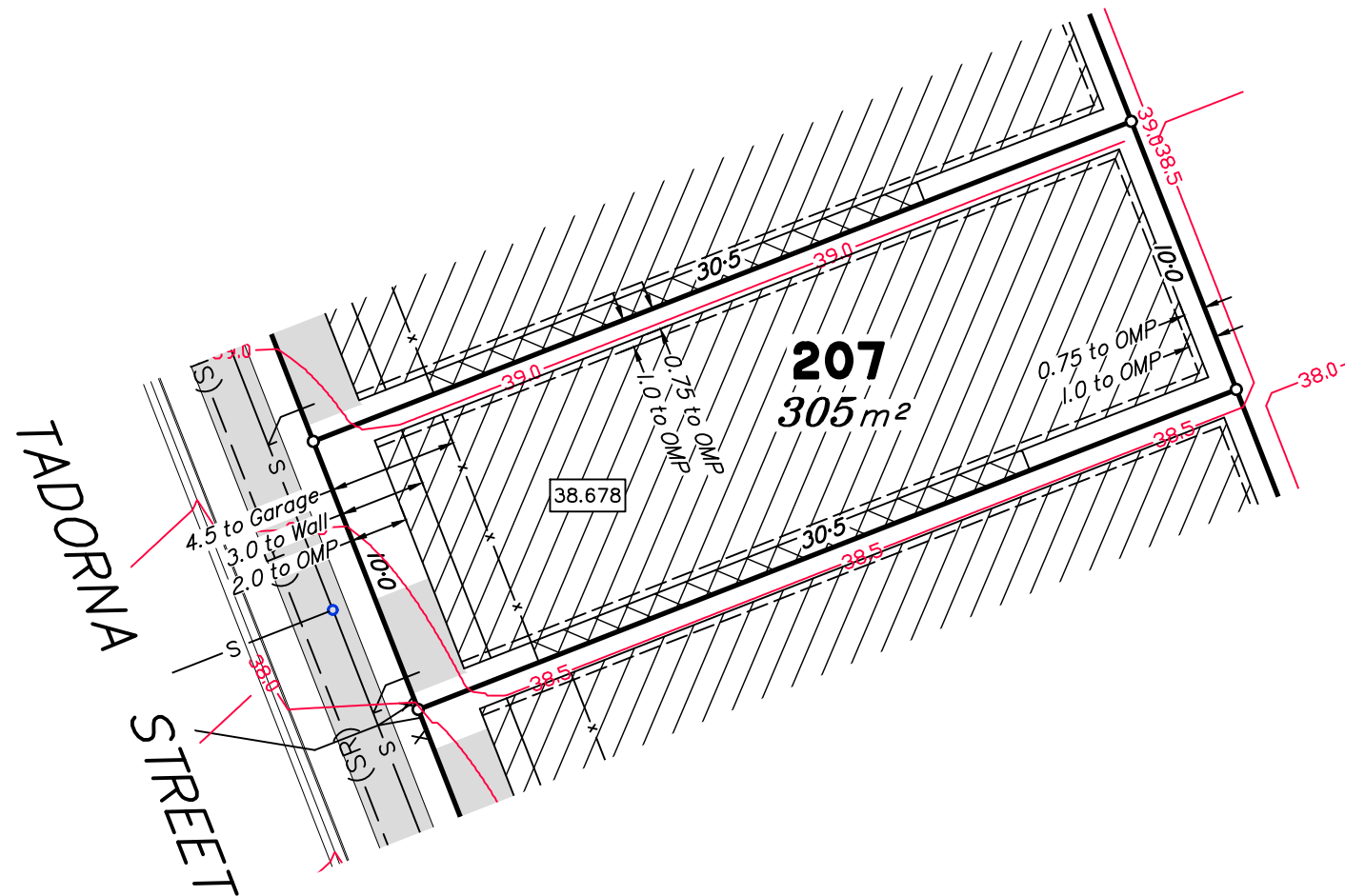
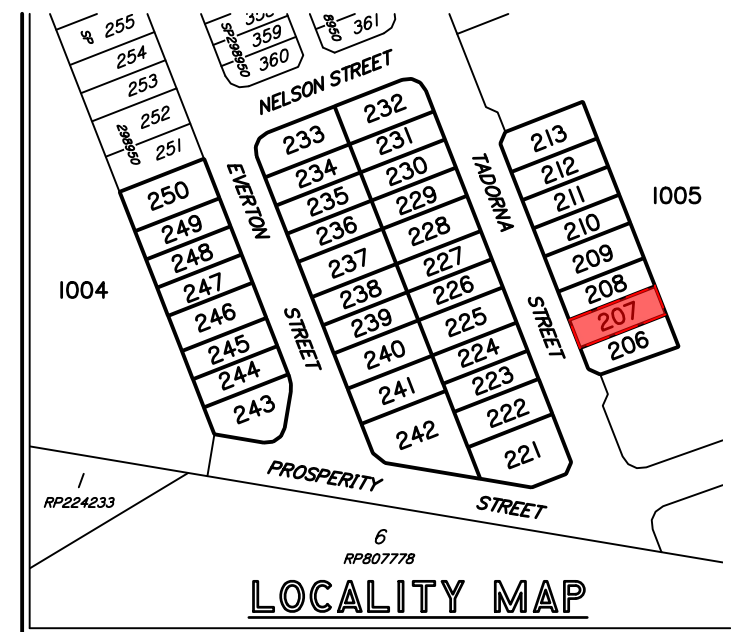
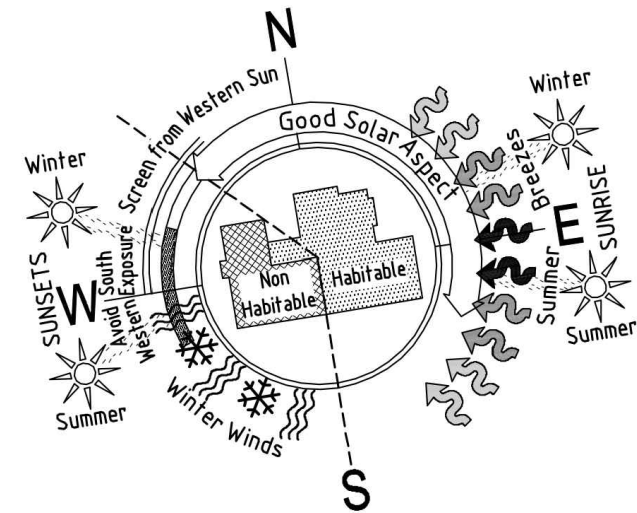
Upper Level

x x Garage Limit

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HOUSE SITING PLAN  
PROPOSED LOT 208

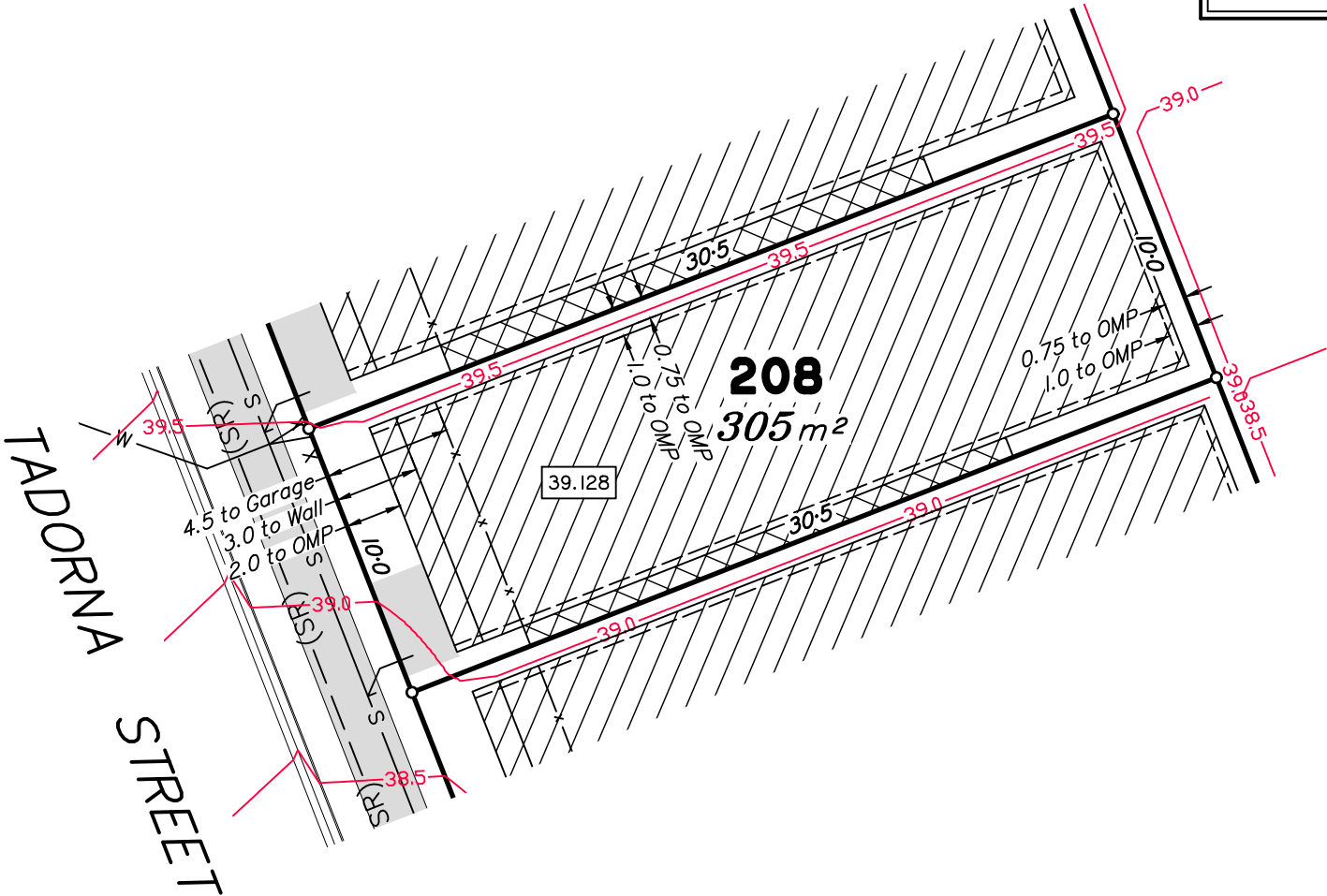
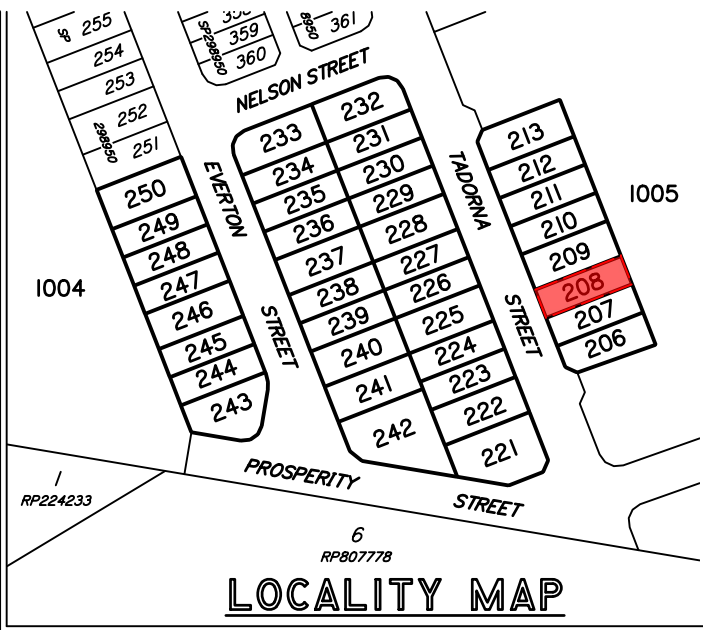
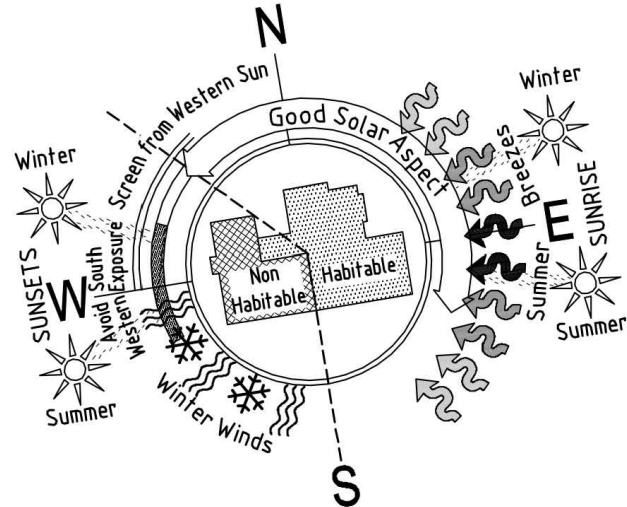
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Locality of Narangba

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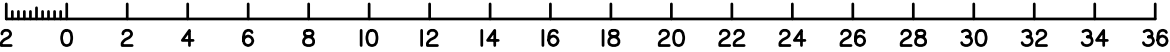
Contour Interval – 0.5 metre

- 50.0 — Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- #### Pad Level
- S —● Sewer Line/ Manhole
- SW —● Stormwater Line / Manhole
- W —X Water Line / Fire Hydrant/ Stop Valve
- (SR) — Rising Sewer
- X — Water Meter
- Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x — x — Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/208	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			

HOUSE SITING PLAN  
PROPOSED LOT 209

Cancelling part of Lot 1003 on SP298957 and  
Lots 1 & 2 on RP79384  
Locality of Narangba

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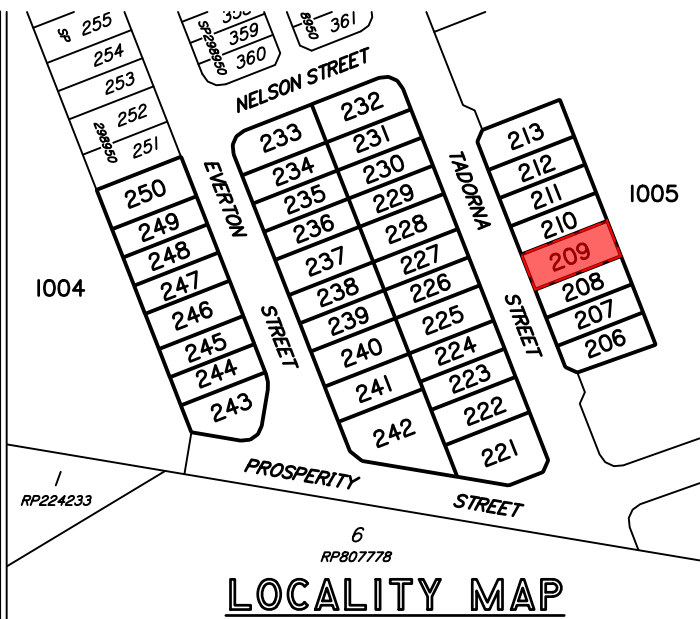
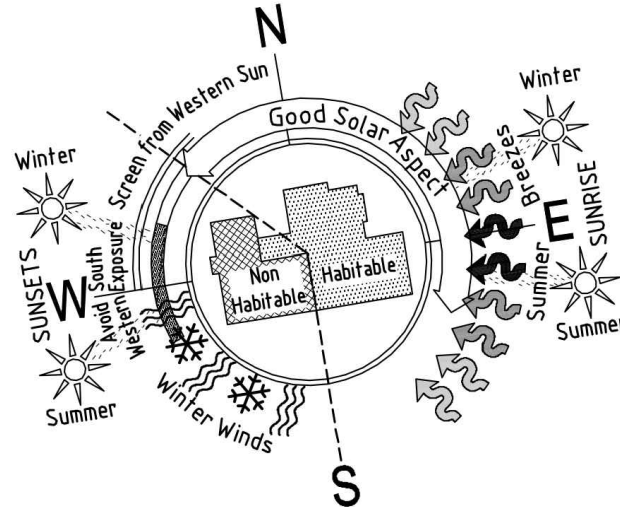
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- Concrete Footpath or Driveway
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- Lower Level
- Upper Level
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Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



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HOUSE SITING PLAN  
PROPOSED LOT 210

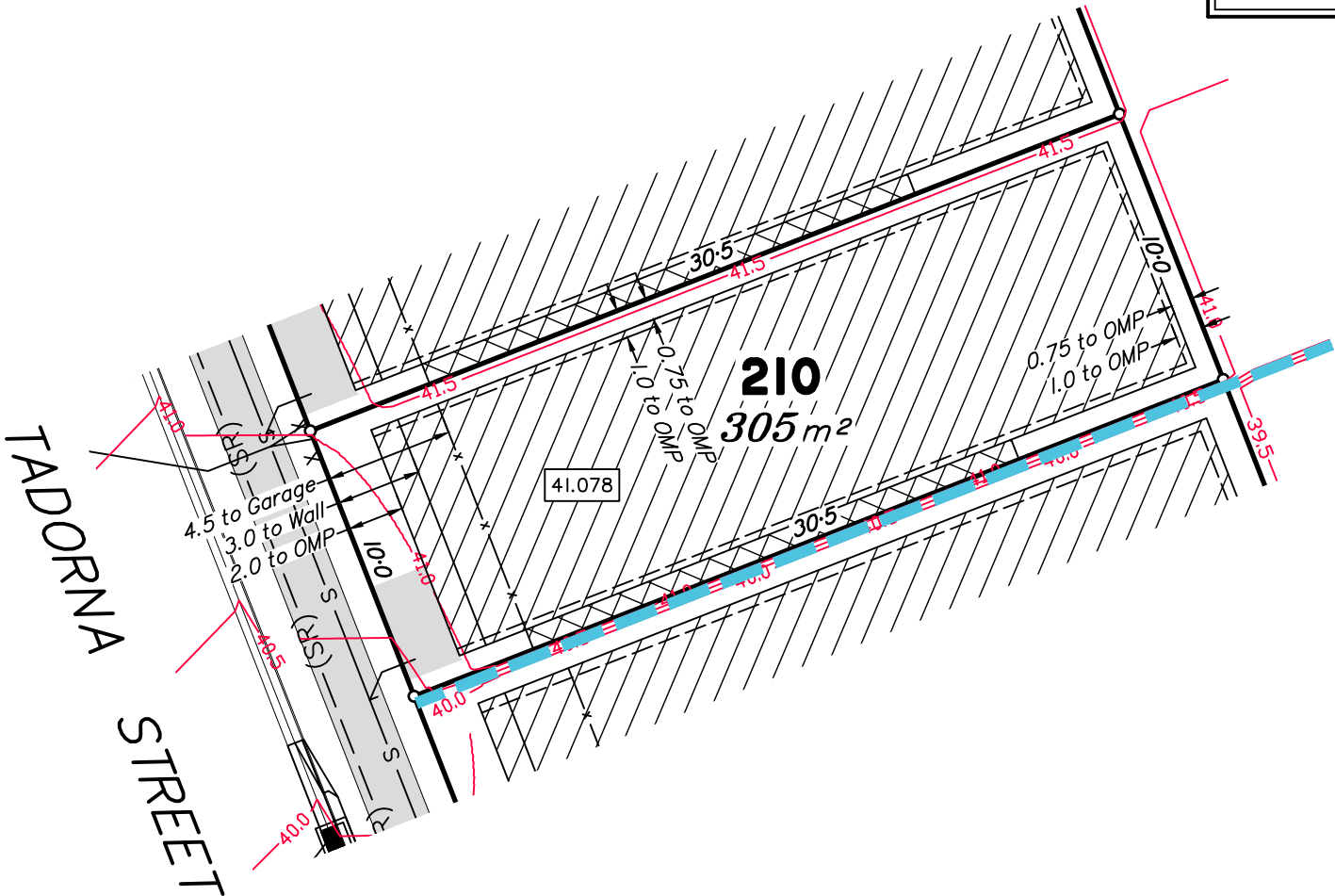
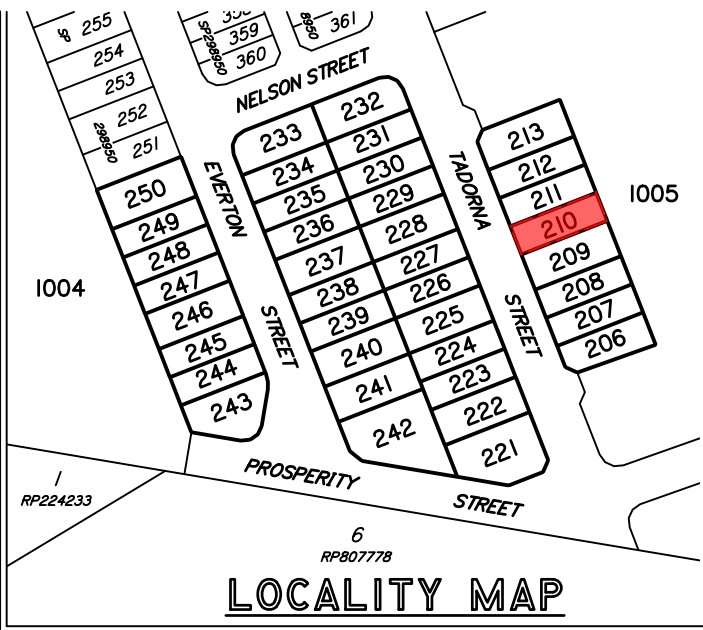
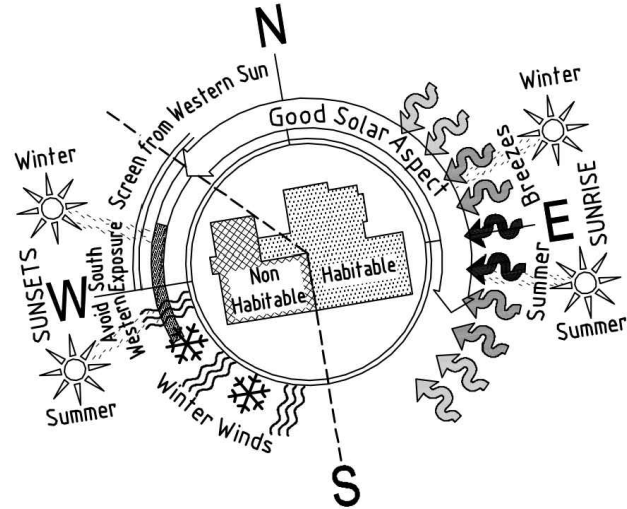
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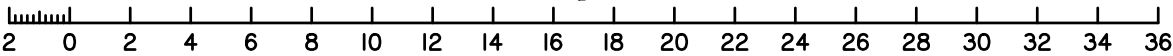
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- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x — x — Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/210	Issue: A
						Project: BNE150725	File: B150725Sk9.dwg

HOUSE SITING PLAN  
PROPOSED LOT 211

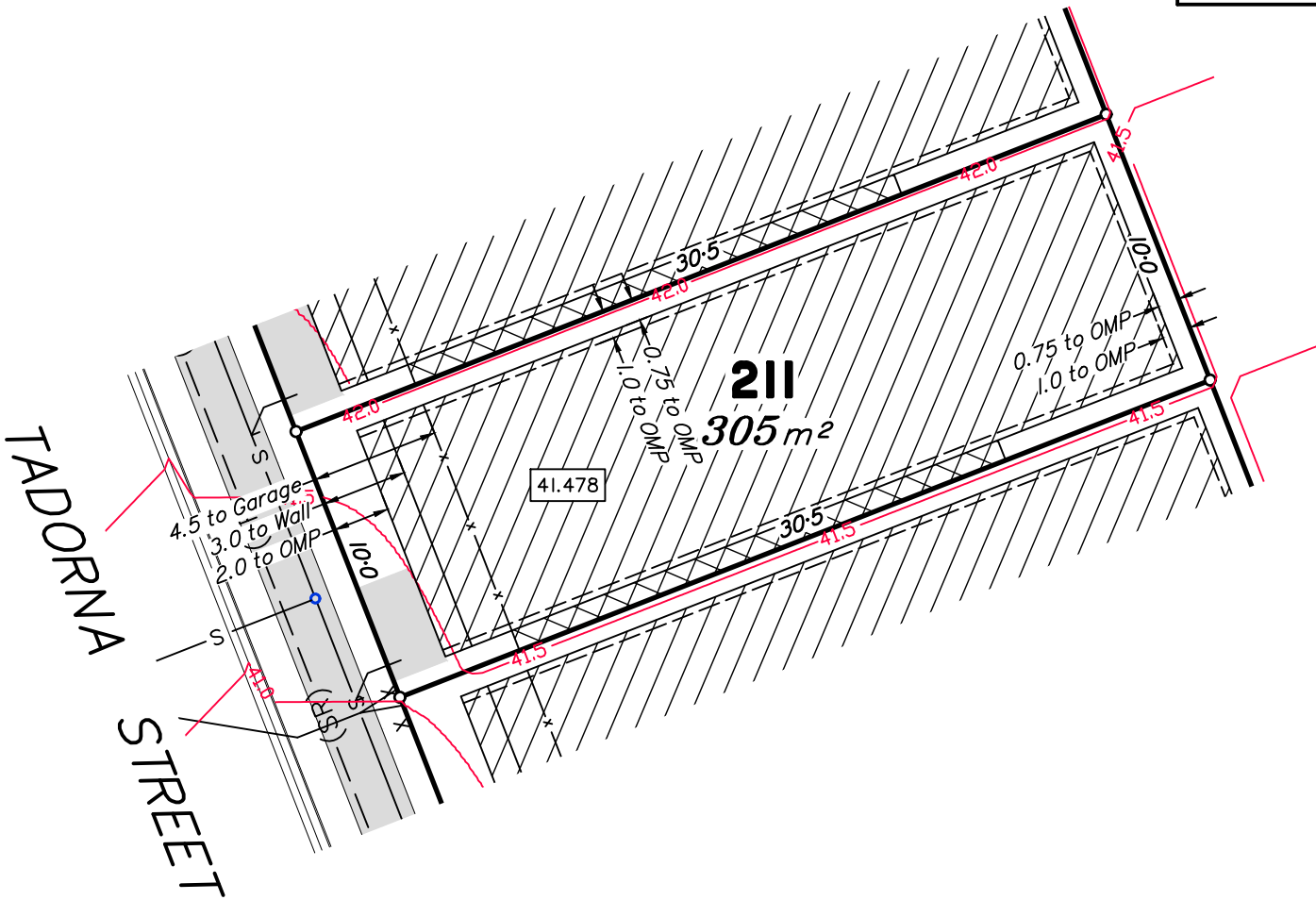
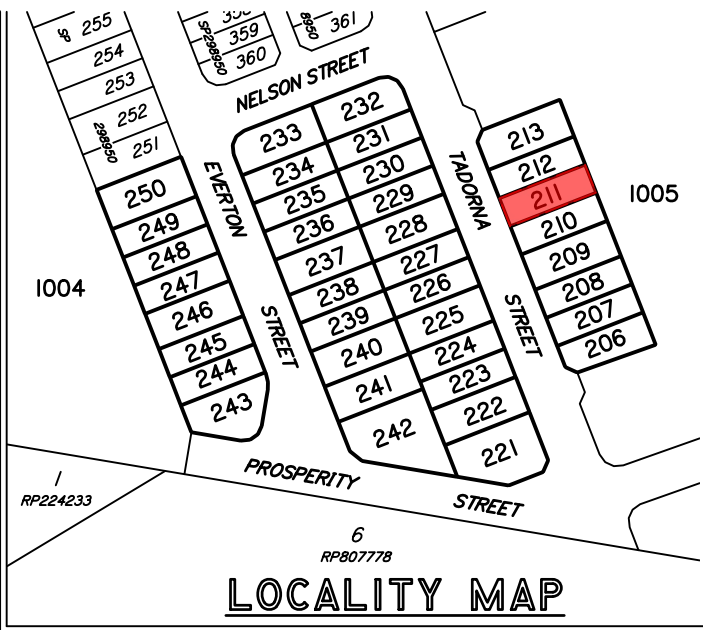
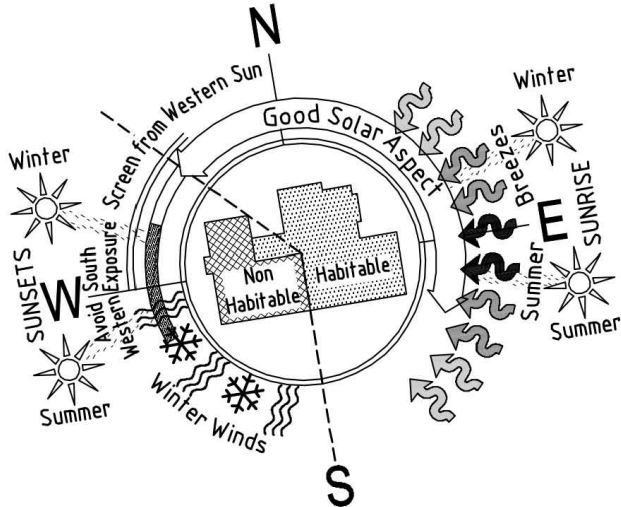
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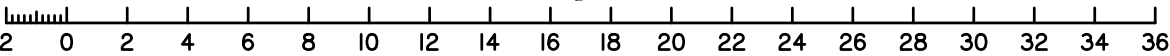
Contour Interval – 0.5 metre

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- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x—x Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV
Issue	Details	Date	Drawn	Checked

HOUSE SITING PLAN  
DAHUA POINTCORP NARANGBA PTY LTD  
STAGE 8A "AMITY"  
CALLAGHAN ROAD, NARANGBA

Dwg No: A3-6099/211	Issue: A
Project: BNE150725	
File: B150725Sk9.dwg	



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— (SR) — Rising Sewer

X Water Meter

— — Easement Boundary

Concrete Footpath or Driveway

Building Location Envelope

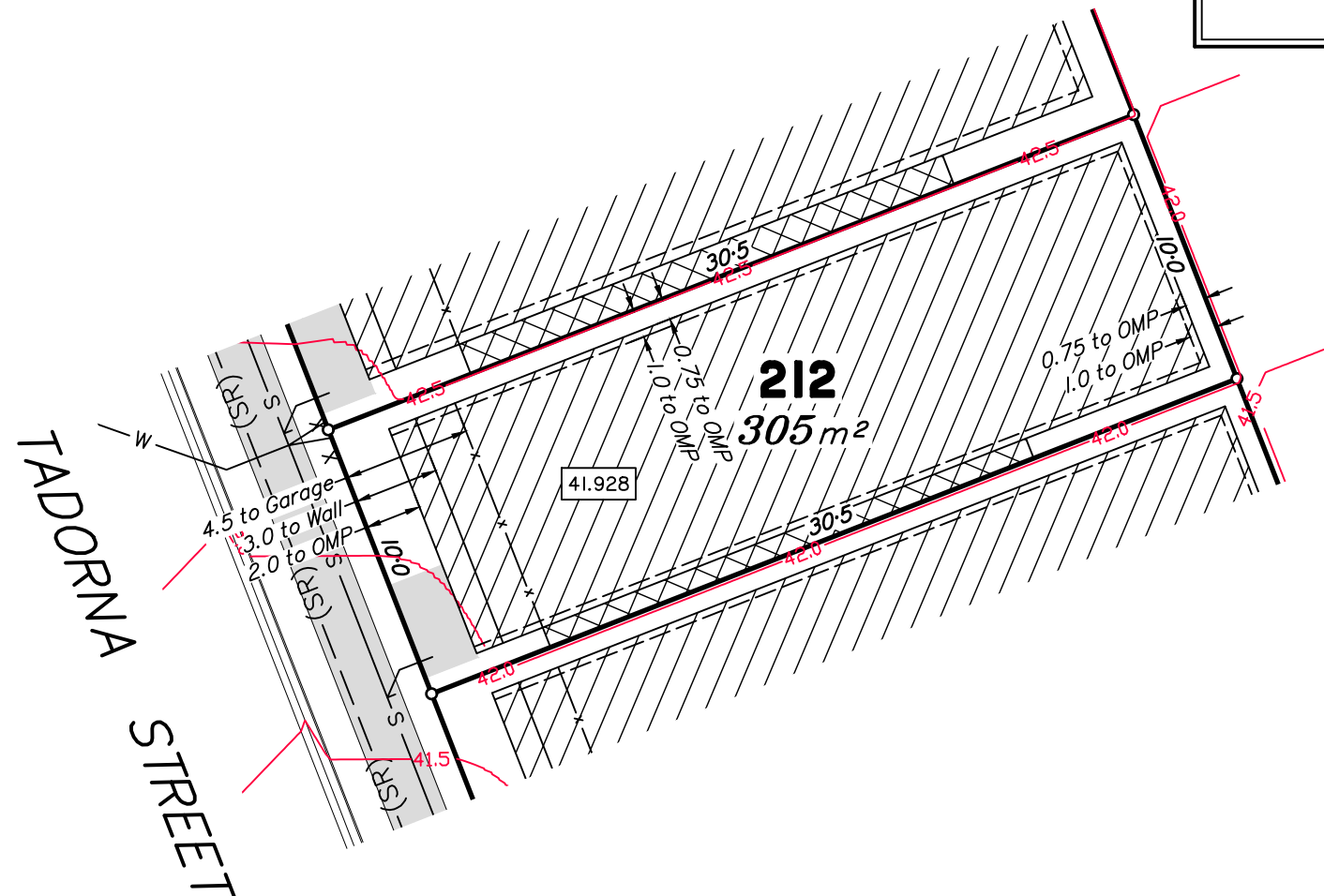
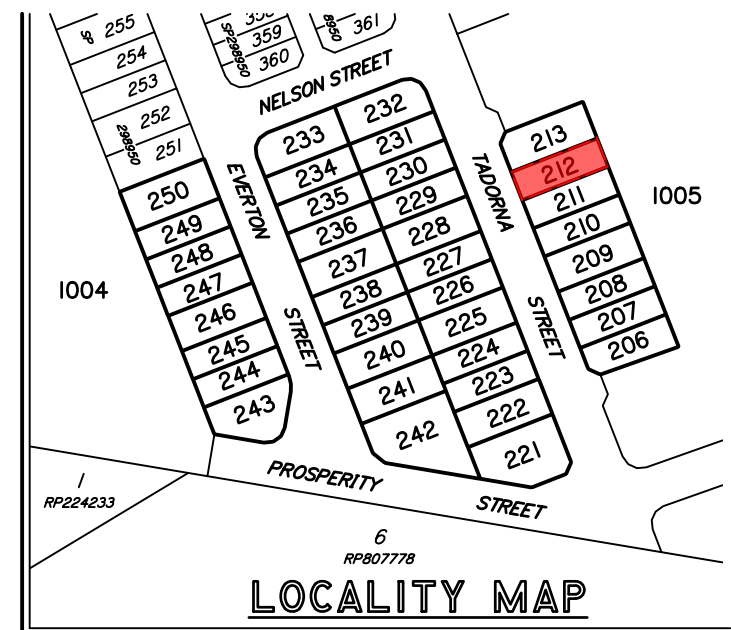
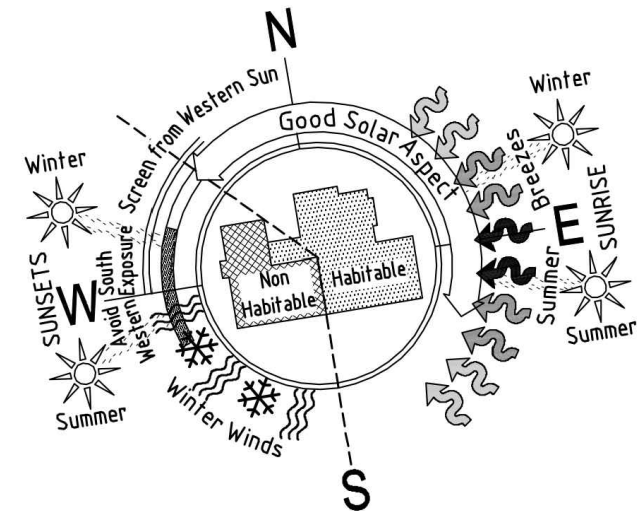
Built to Boundary Mandatory

— — Lower Level

— — — — Upper Level

— x — x — Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No Contour  
Height Datum: AHD



A	ORIGINAL ISSUE	08/10/20	AV	TV	<div>HOUSE SITING PLAN</div> <div>DAHUA POINTCORP NARANGBA PTY LTD</div> <div>STAGE 8A "AMITY"</div> <div>CALLAGHAN ROAD, NARANGBA</div>	Dwg No: A3-6099/212	Issued By: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
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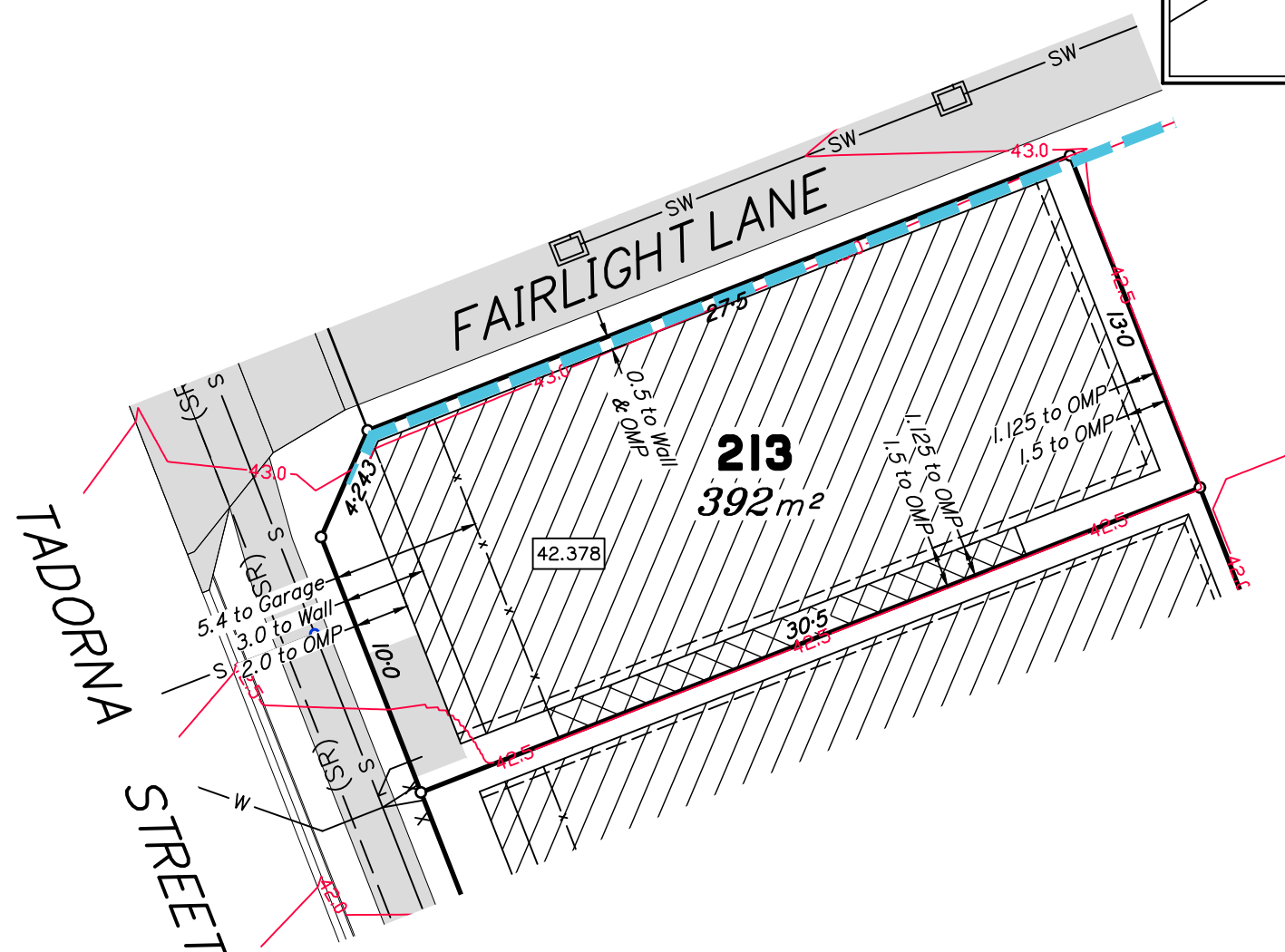
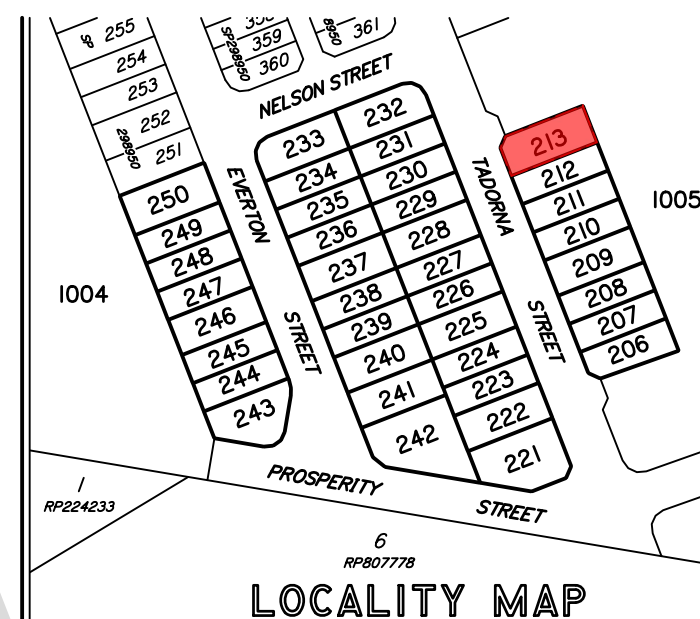
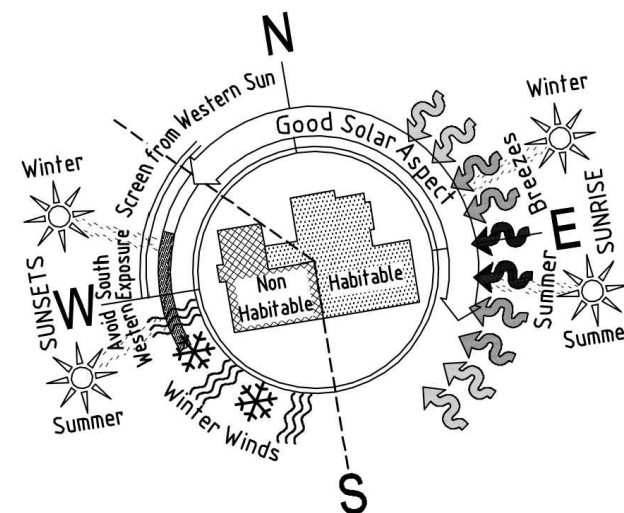
Built to Boundary Mandatory

Lower Level

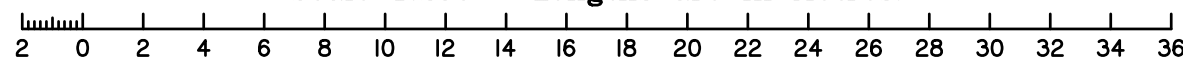
Upper Level

x x Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No Contour  
Height Datum: AHD



**Scale 1:250 - Lengths are in Metres.**



A	ORIGINAL ISSUE	08/10/20	AV	TV	<p style="text-align: center;">HOUSE SITING PLAN</p> <p style="text-align: center;">DAHUA POINTCORP NARANGBA PTY LTD</p> <p style="text-align: center;">STAGE 8A "AMITY"</p> <p style="text-align: center;">CALLAGHAN ROAD, NARANGBA</p>	Dwg No: A3-6099/213	Issue A
						Project: BNE150725	
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Issue	Details	Date	Drawn	Checked			



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Concrete Footpath or Driveway

Building Location Envelope

Built to Boundary Mandatory

— — Lower Level

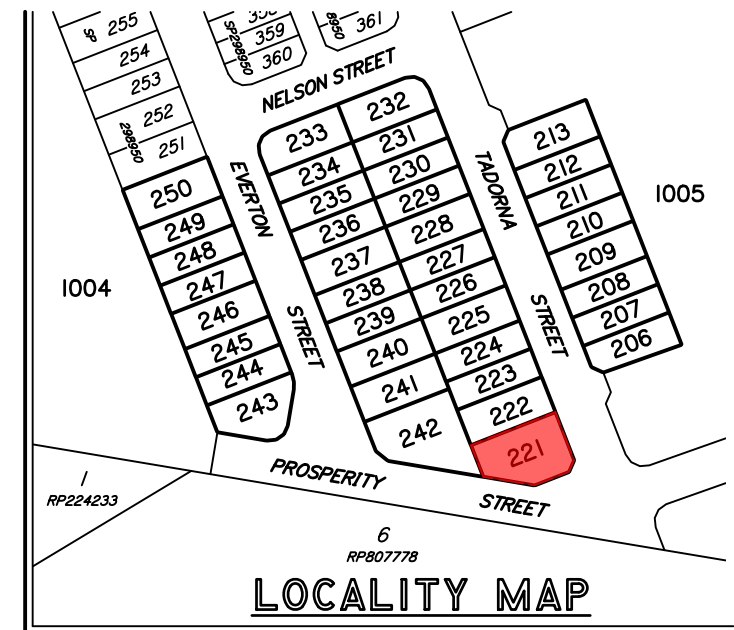
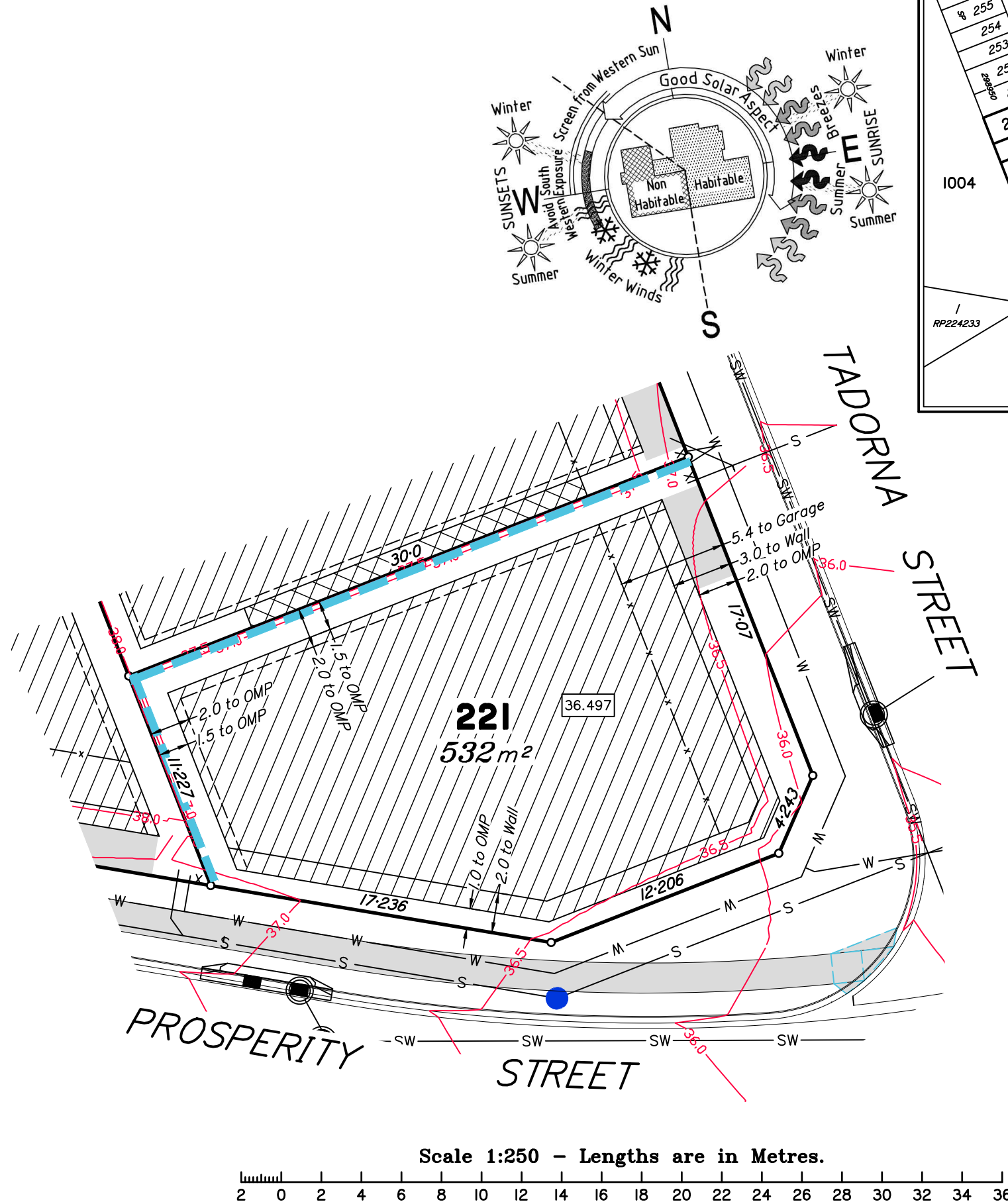
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— x — x — Garage Limit

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& development

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Ph: 1300 278 783  
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HOUSE SITING PLAN  
PROPOSED LOT 222

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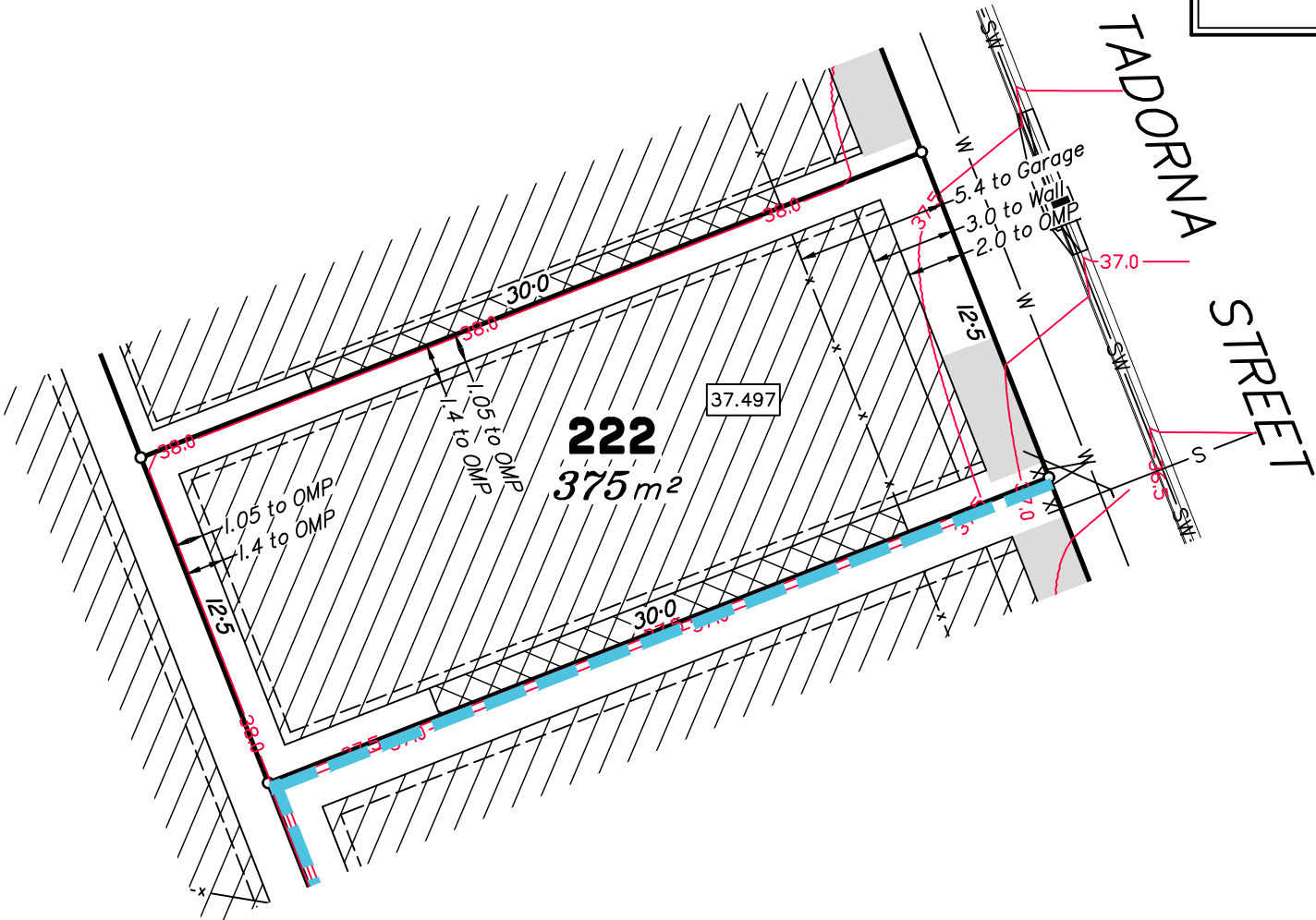
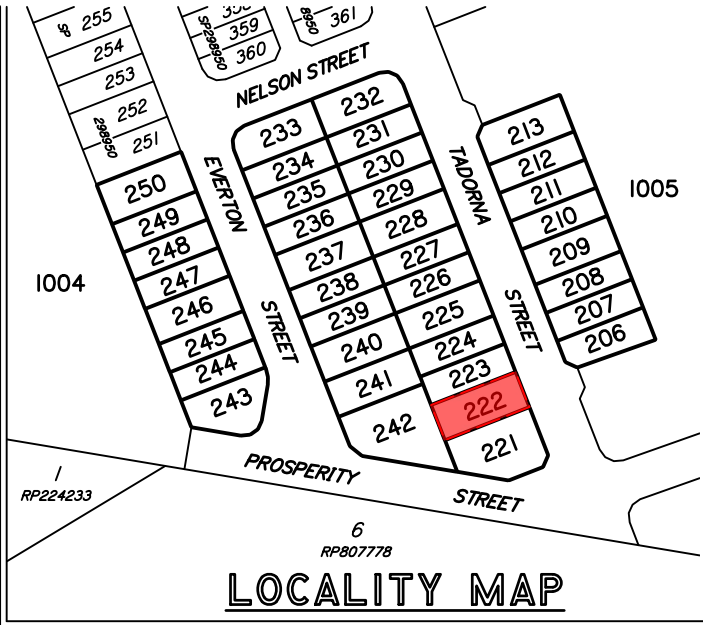
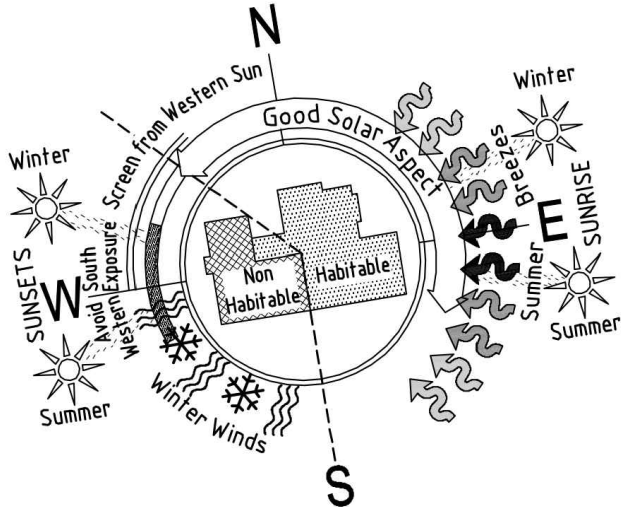
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- W — Water Line / Fire Hydrant / Stop Valve
- (SR) — Rising Sewer
- X Water Meter
- Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x — x — Garage Limit

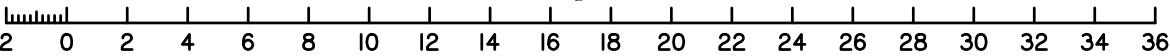
Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



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brisbane@dtsqld.com.au mackay@dtsqld.com.au



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/222	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			



HOUSE SITING PLAN  
PROPOSED LOT 223

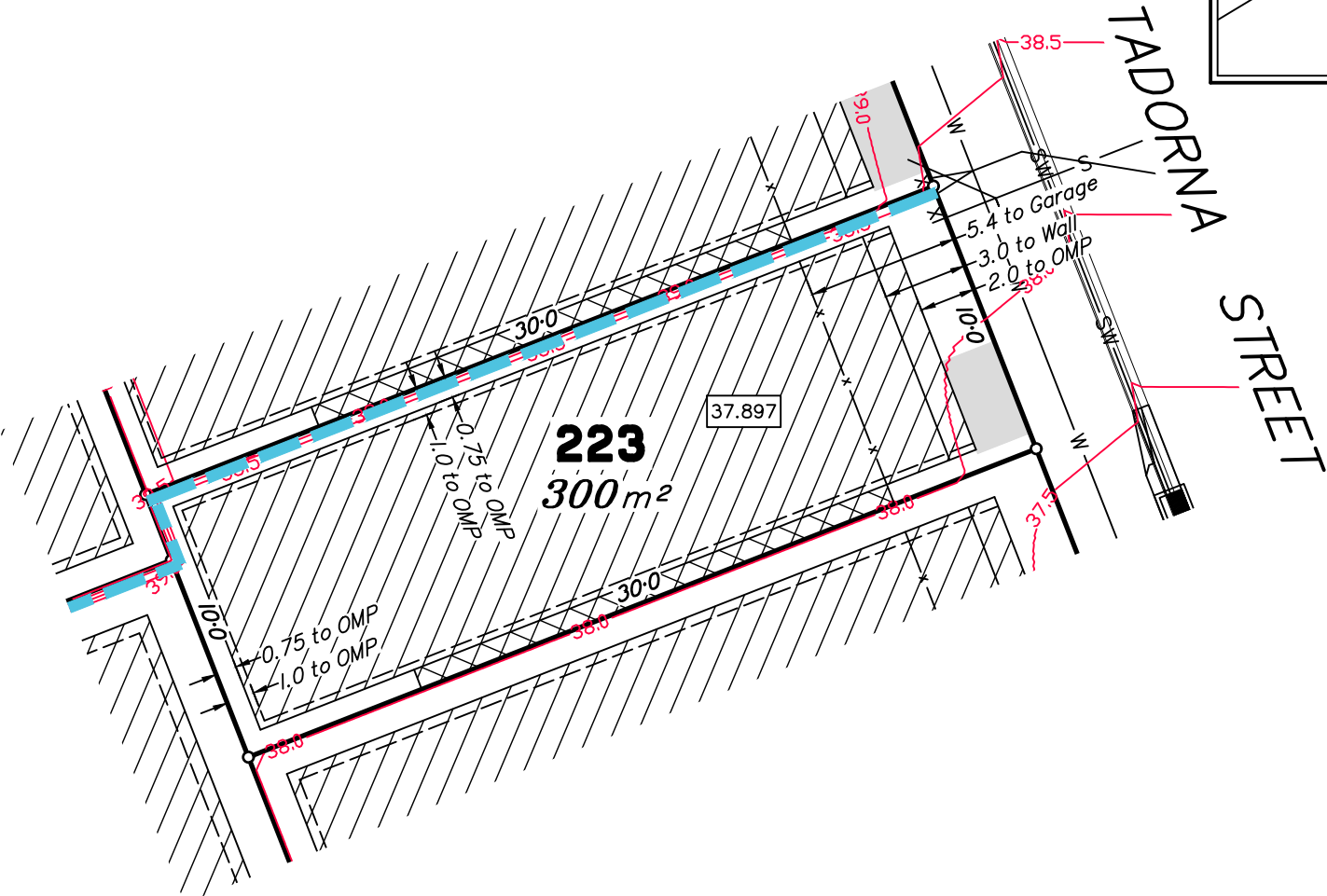
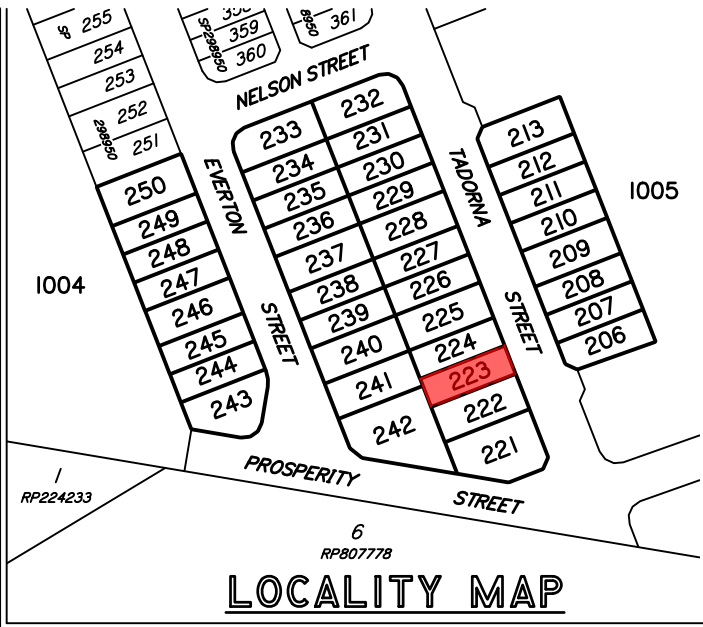
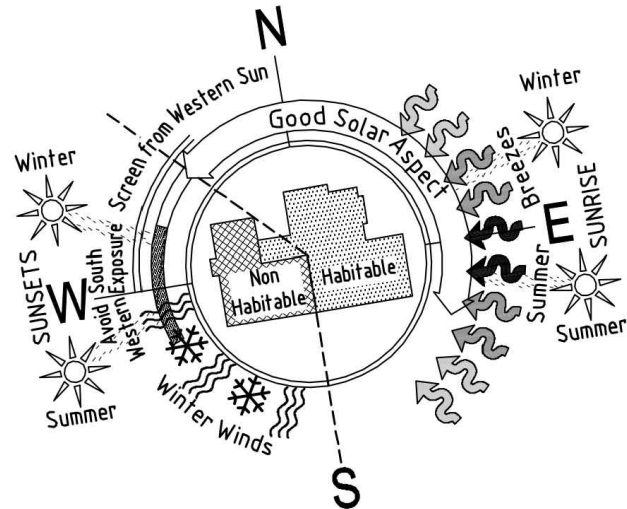
Cancelling part of Lot 1003 on SP298957 and  
Lots 1 & 2 on RP79384  
Locality of Narangba

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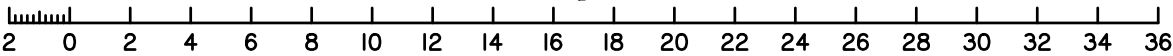
Contour Interval – 0.5 metre

- 50.0— Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- #### Pad Level
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- Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x — x — Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/223	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			

HOUSE SITING PLAN  
PROPOSED LOT 224

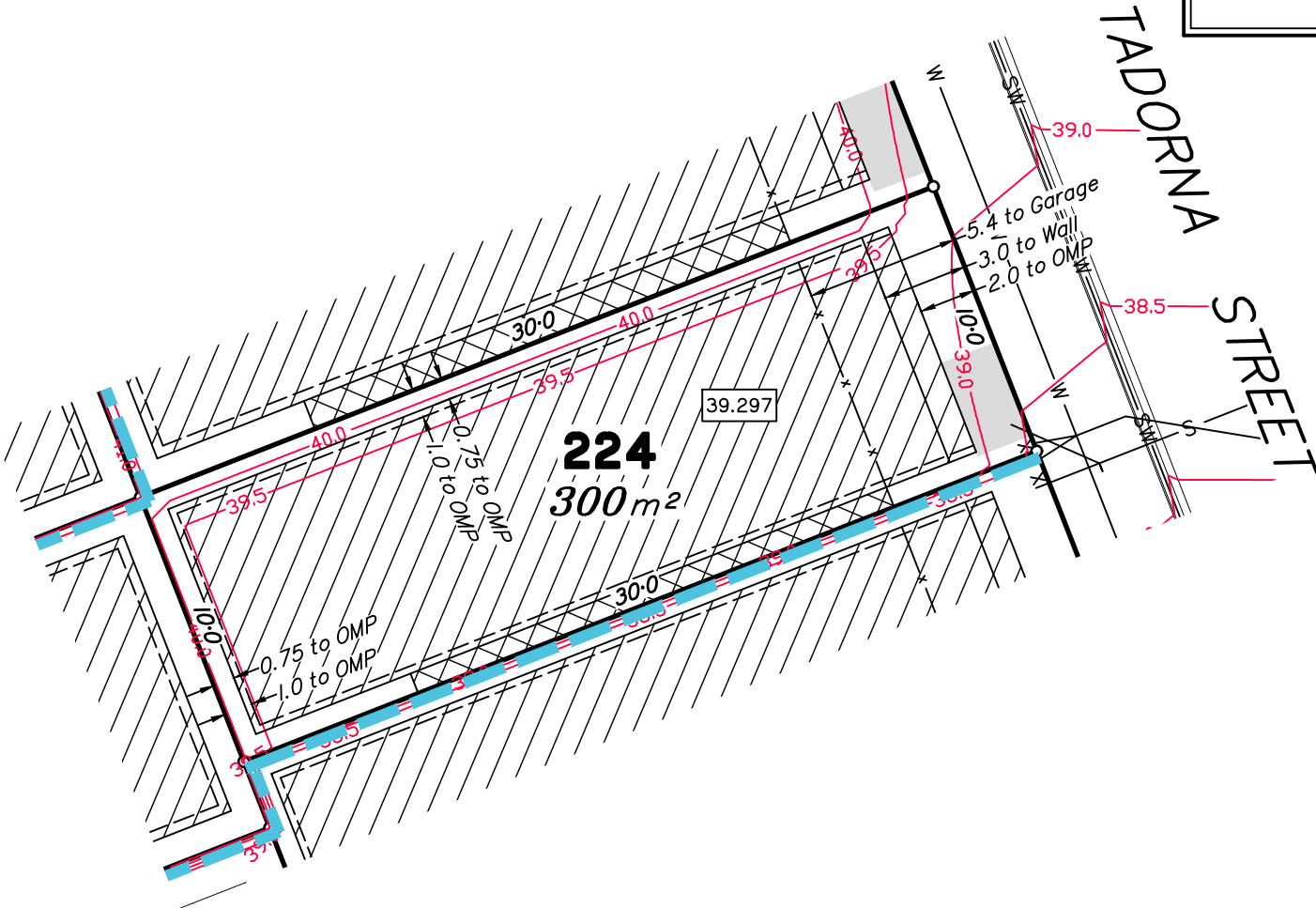
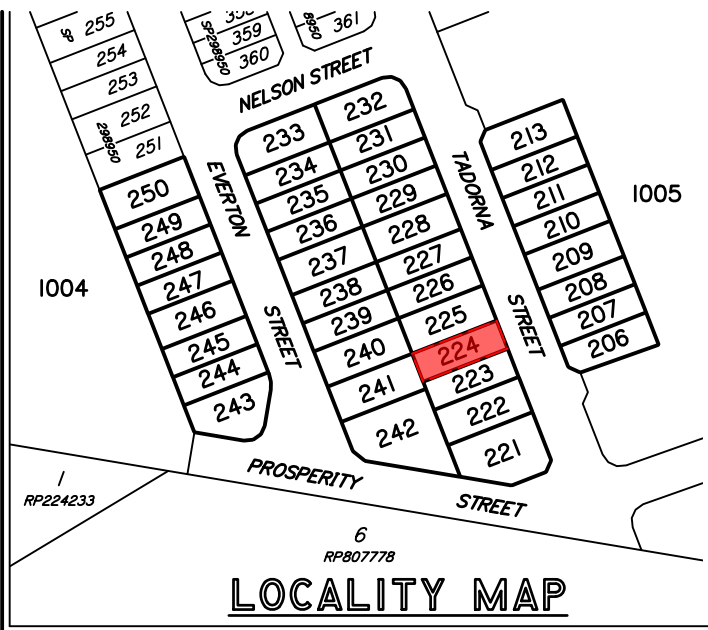
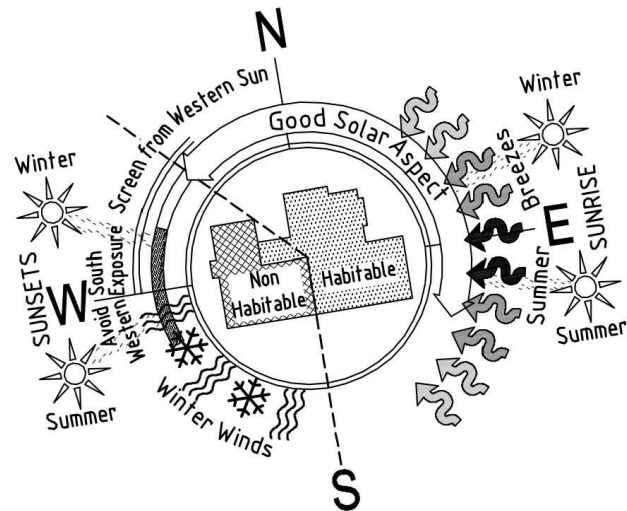
Cancelling part of Lot 1003 on SP298957 and  
Lots 1 & 2 on RP79384  
Locality of Narangba

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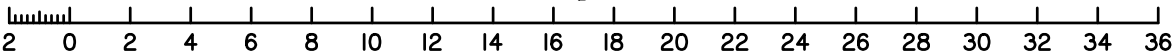
Contour Interval – 0.5 metre

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- Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x — x — Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/224	Issue: A
						Project: BNE150725	File: B150725Sk9.dwg
Issue	Details	Date	Drawn	Checked			



HOUSE SITING PLAN  
PROPOSED LOT 225

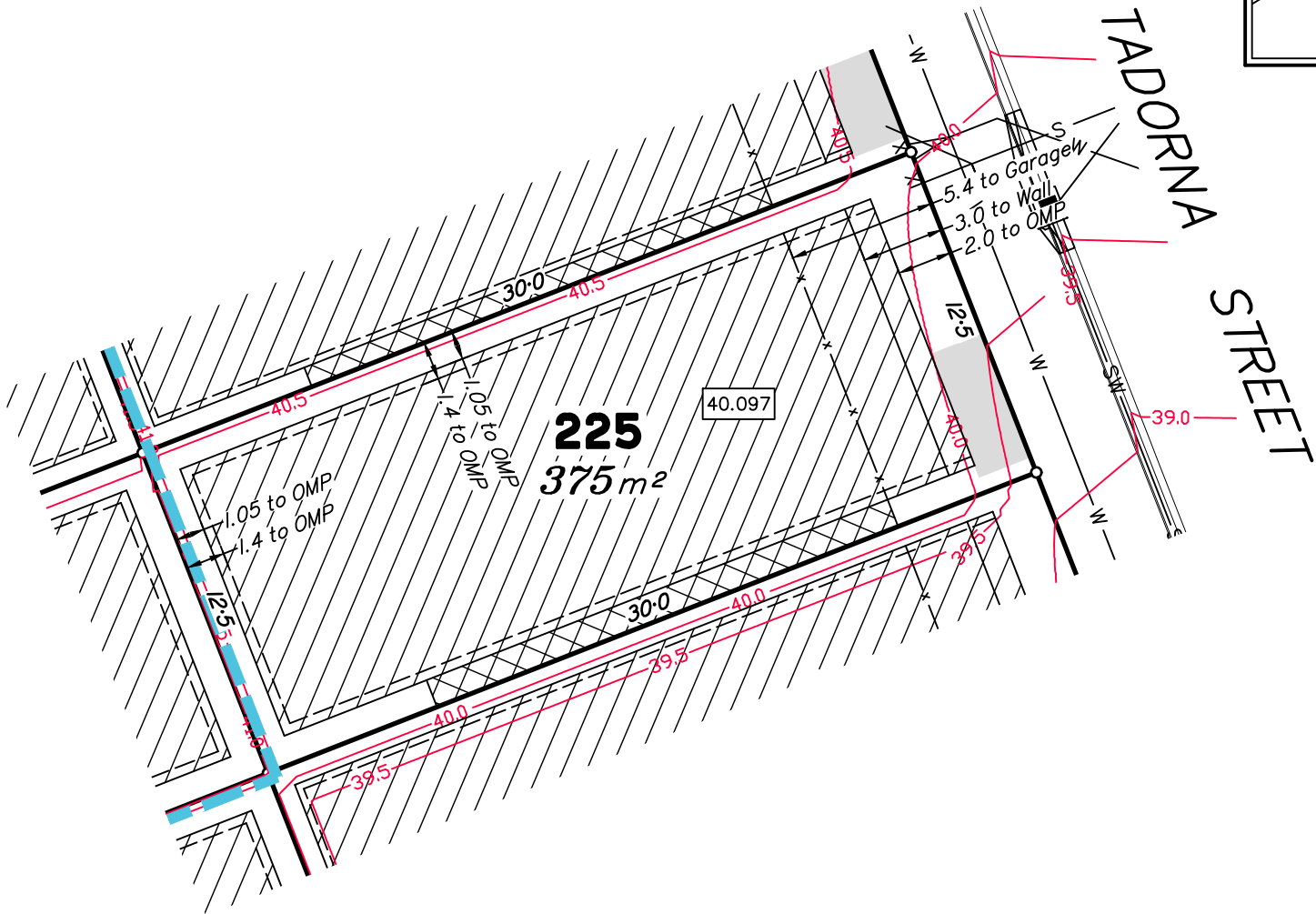
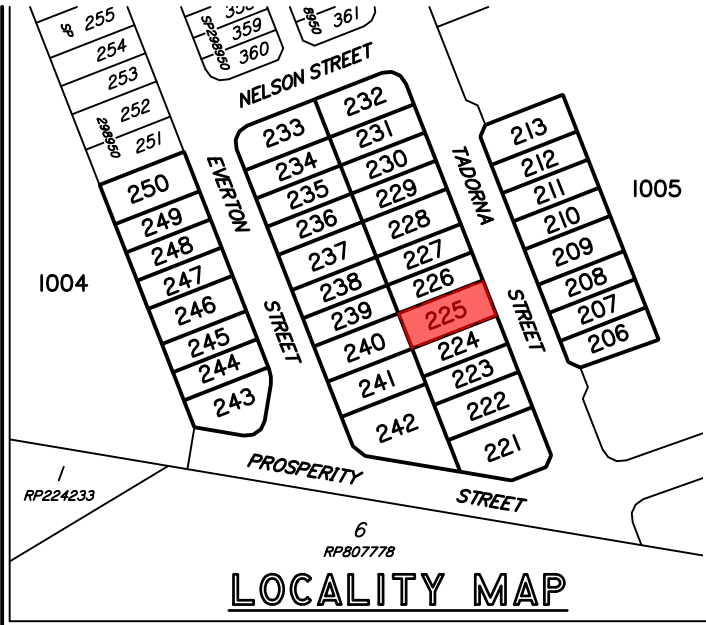
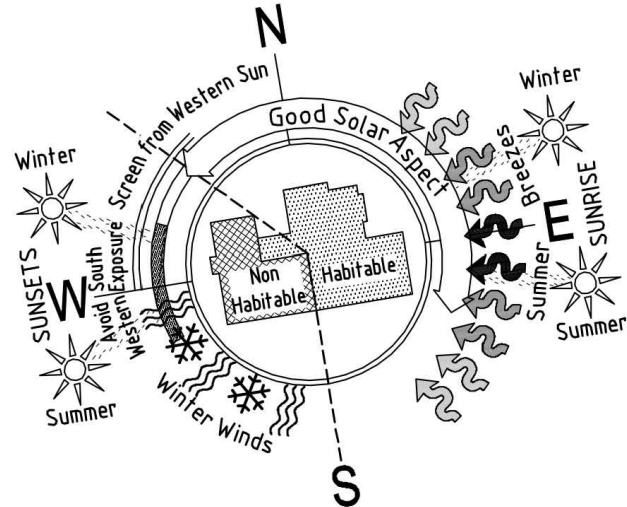
Cancelling part of Lot 1003 on SP298957 and  
Lots 1 & 2 on RP79384  
Locality of Narangba

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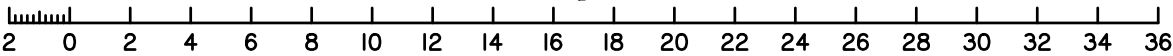
Contour Interval – 0.5 metre

- 50.0— Design Contours
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- (SR) — Rising Sewer
- X Water Meter
- Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x x Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/225	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			

HOUSE SITING PLAN  
PROPOSED LOT 226

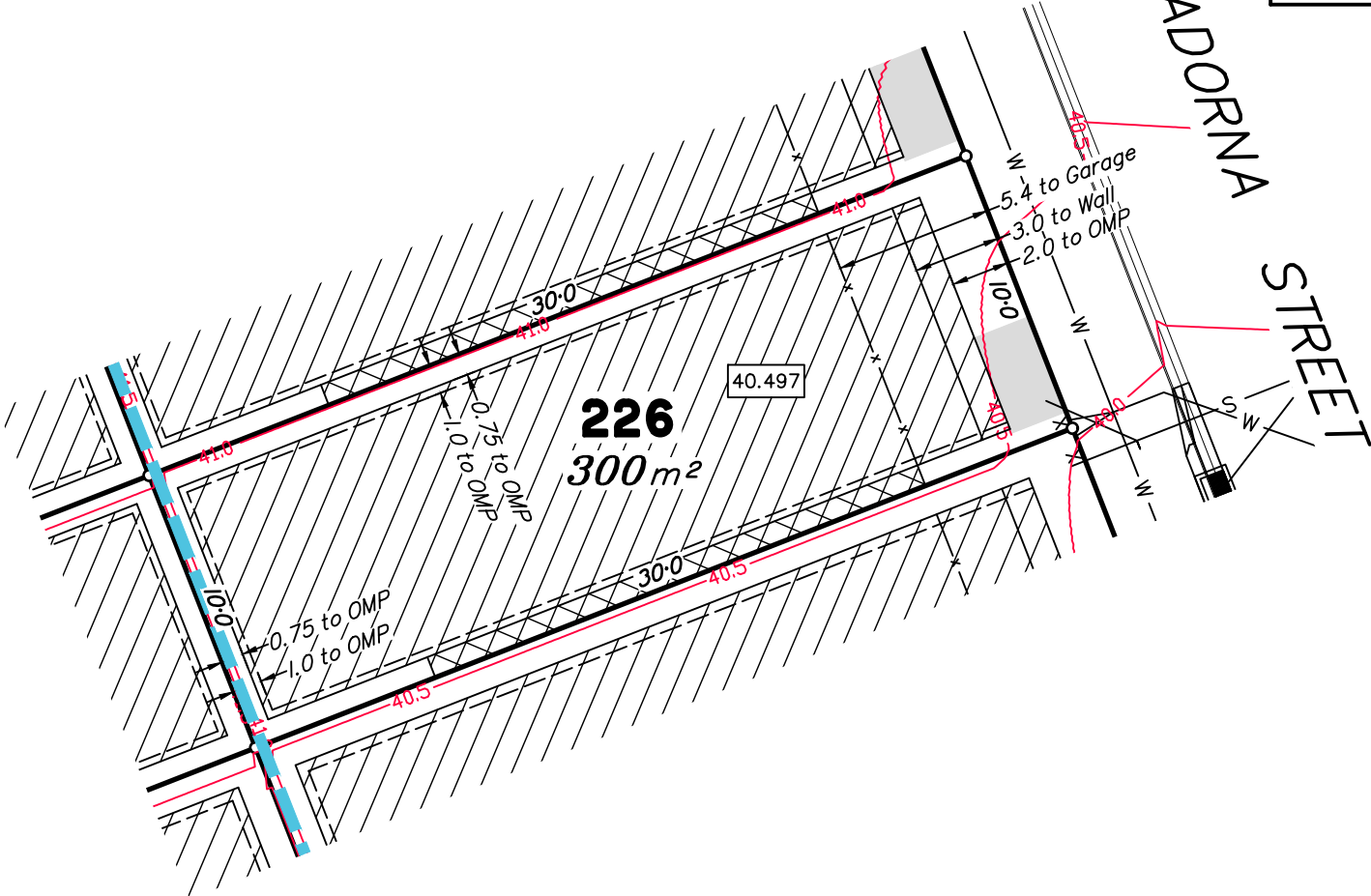
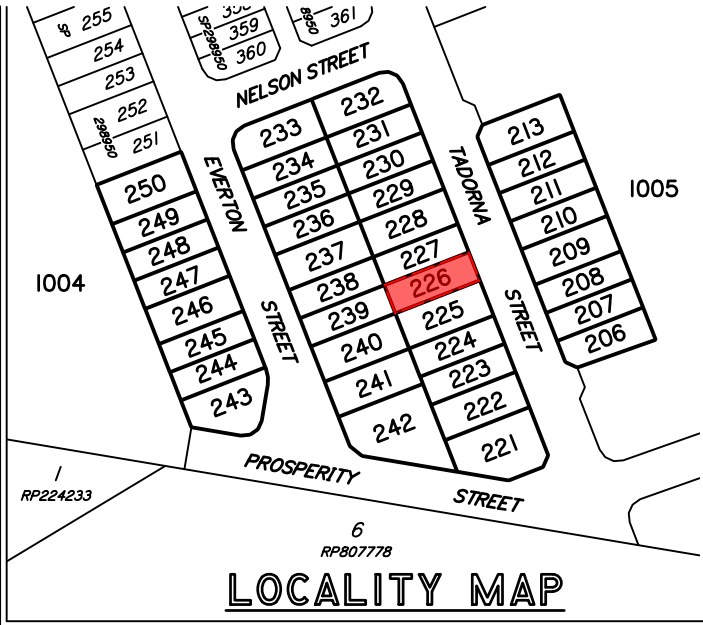
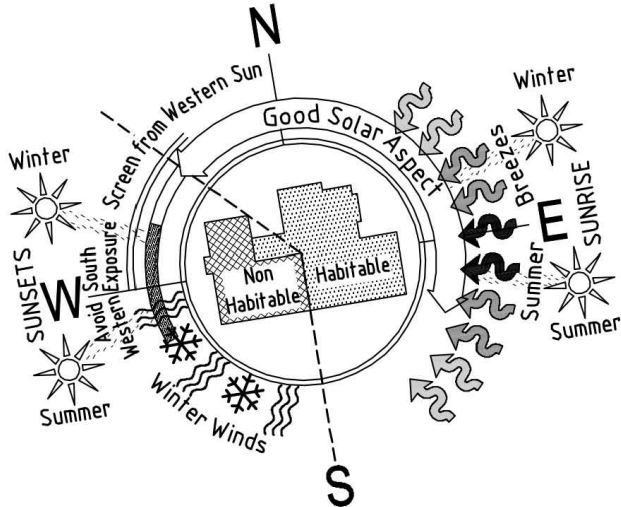
Cancelling part of Lot 1003 on SP298957 and  
Lots 1 & 2 on RP79384  
Locality of Narangba

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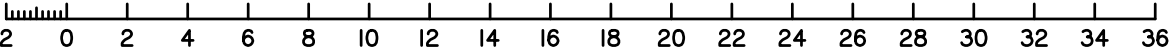
Contour Interval – 0.5 metre

- 50.0— Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
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- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x—x Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



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A	ORIGINAL ISSUE	08/10/20	AV	TV
Issue	Details	Date	Drawn	Checked

HOUSE SITING PLAN  
DAHUA POINTCORP NARANGBA PTY LTD  
STAGE 8A "AMITY"  
CALLAGHAN ROAD, NARANGBA

Dwg No: A3-6099/226	Issue: A
Project: BNE150725	
File: B150725Sk9.dwg	



HOUSE SITING PLAN  
PROPOSED LOT 227

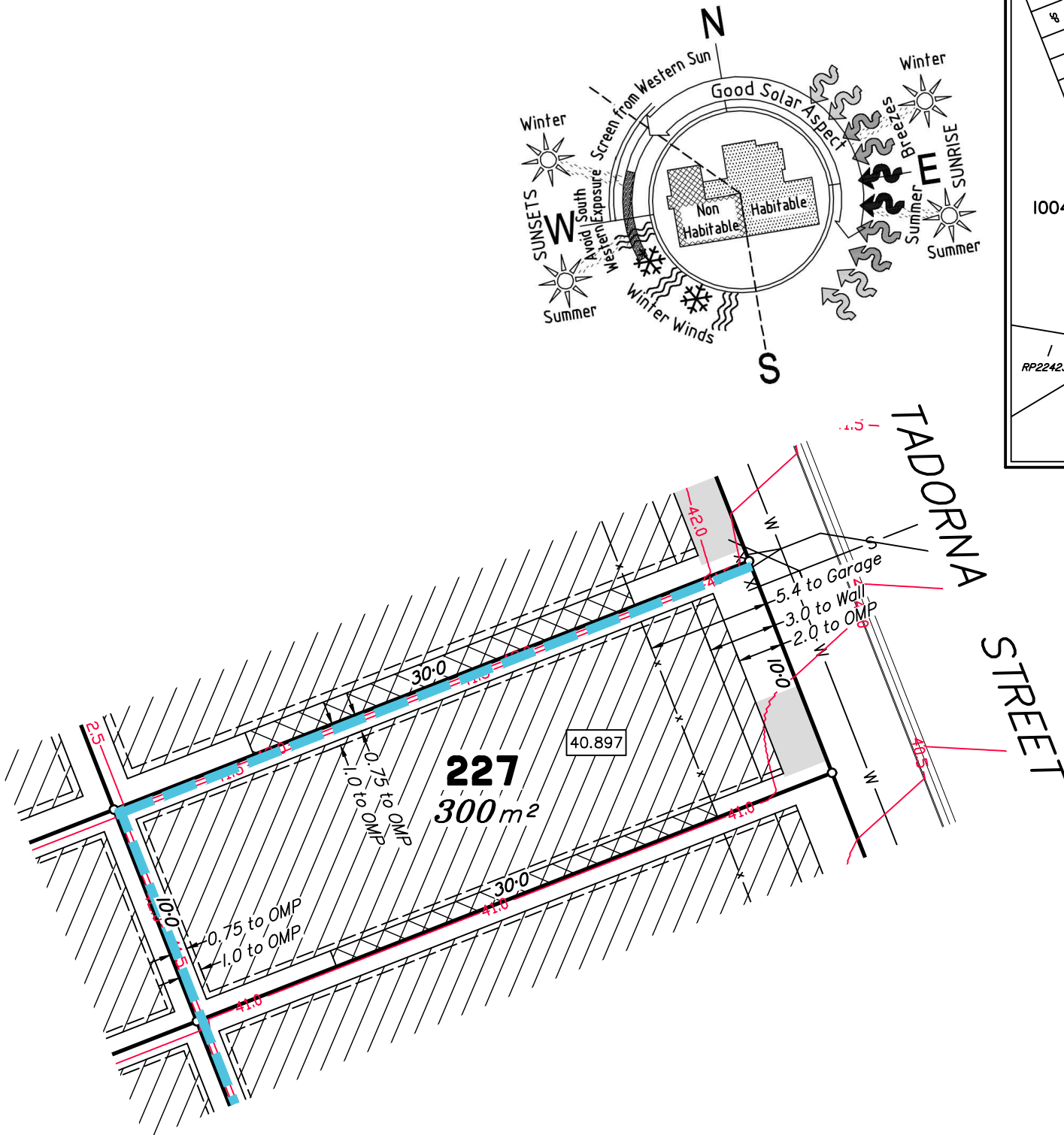
Cancelling part of Lot 1003 on SP298957 and  
Lots 1 & 2 on RP79384  
Locality of Narangba

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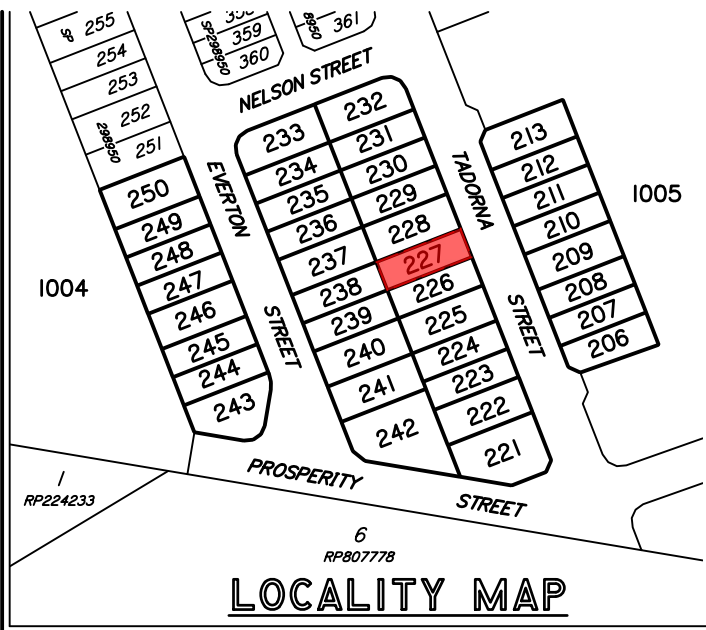
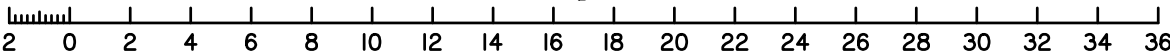
Contour Interval – 0.5 metre

- 50.0— Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- #### Pad Level
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- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x—x Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/227	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			

HOUSE SITING PLAN  
PROPOSED LOT 228

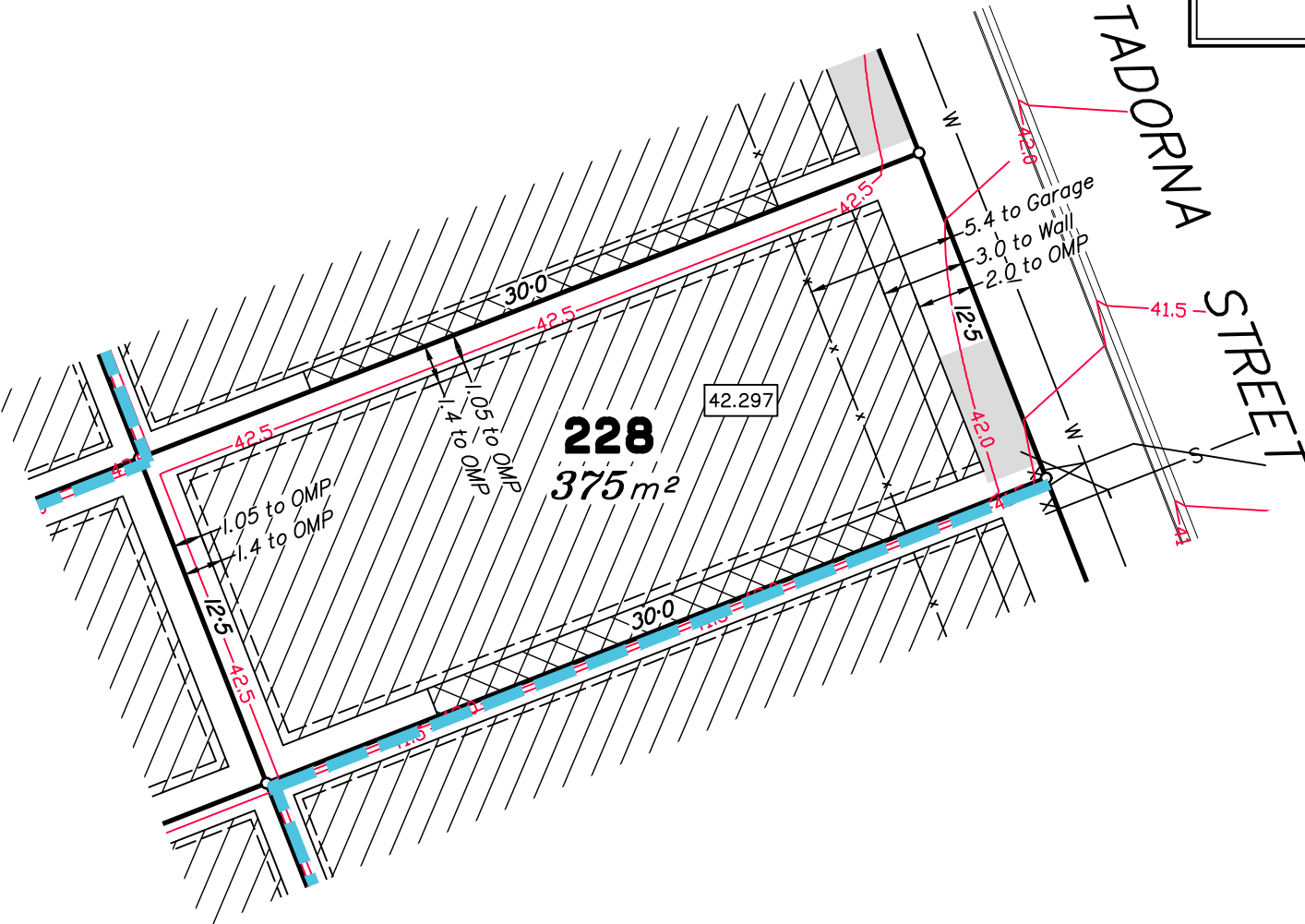
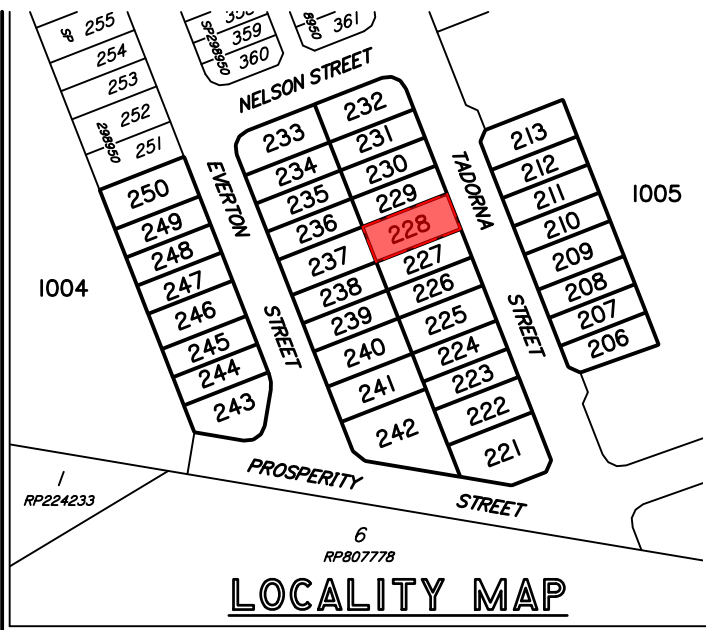
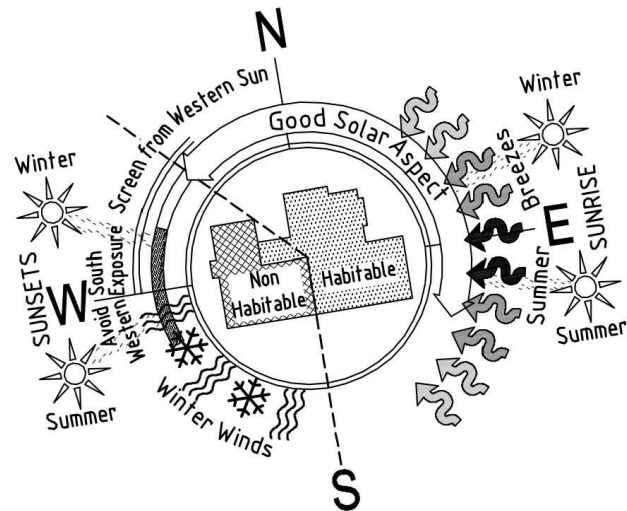
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Locality of Narangba

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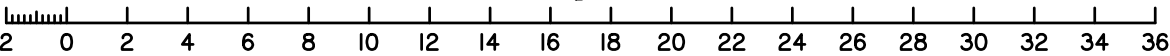
Contour Interval – 0.5 metre

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- X — Water Meter
- — Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x — x — Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/228	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			



HOUSE SITING PLAN  
PROPOSED LOT 229

Cancelling part of Lot 1003 on SP298957 and  
Lots 1 & 2 on RP79384  
Locality of Narangba

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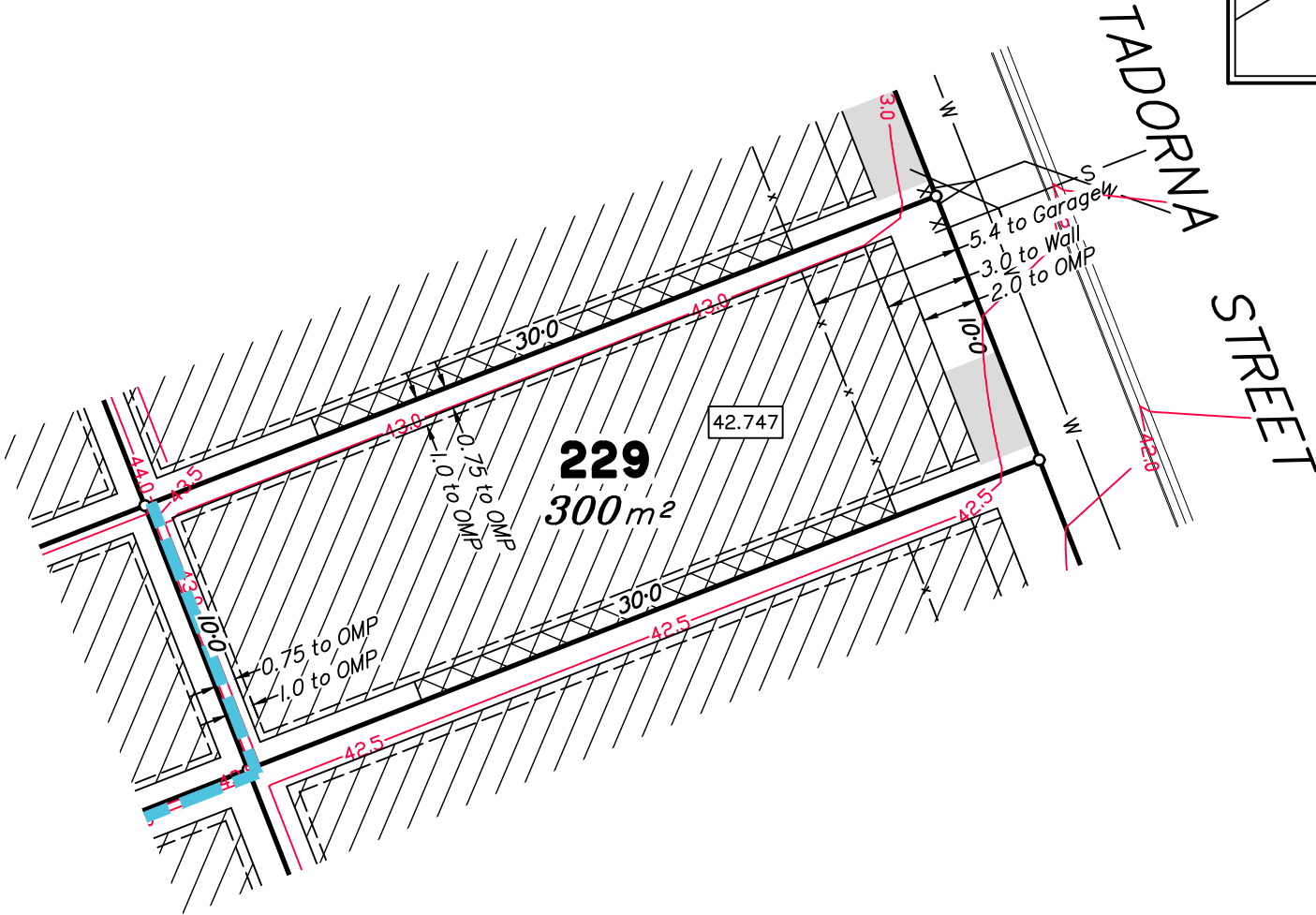
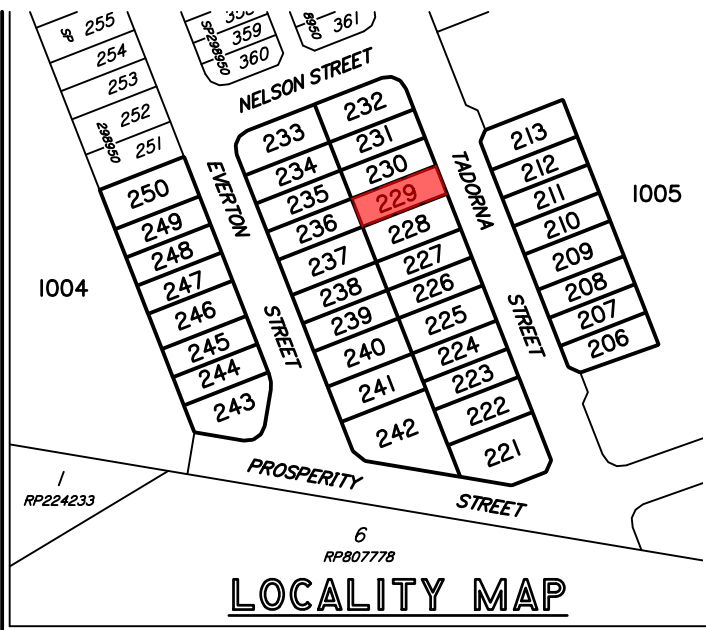
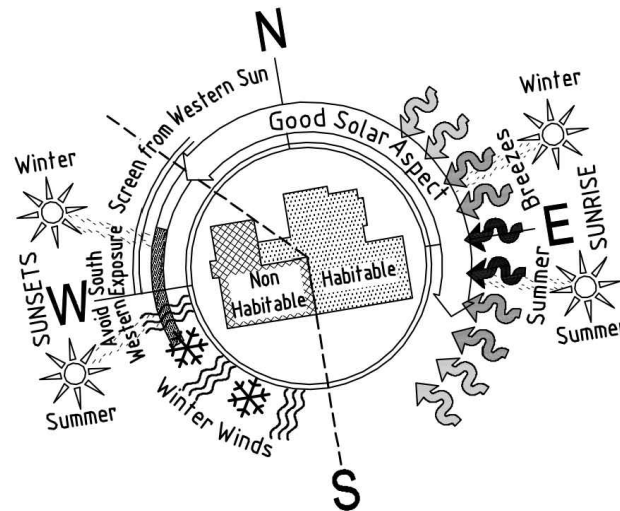
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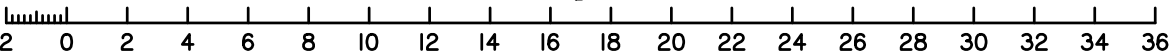
Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



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Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3-6099/229	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			

HOUSE SITING PLAN  
PROPOSED LOT 230

Cancelling part of Lot 1003 on SP298957 and  
Lots 1 & 2 on RP79384  
Locality of Narangba

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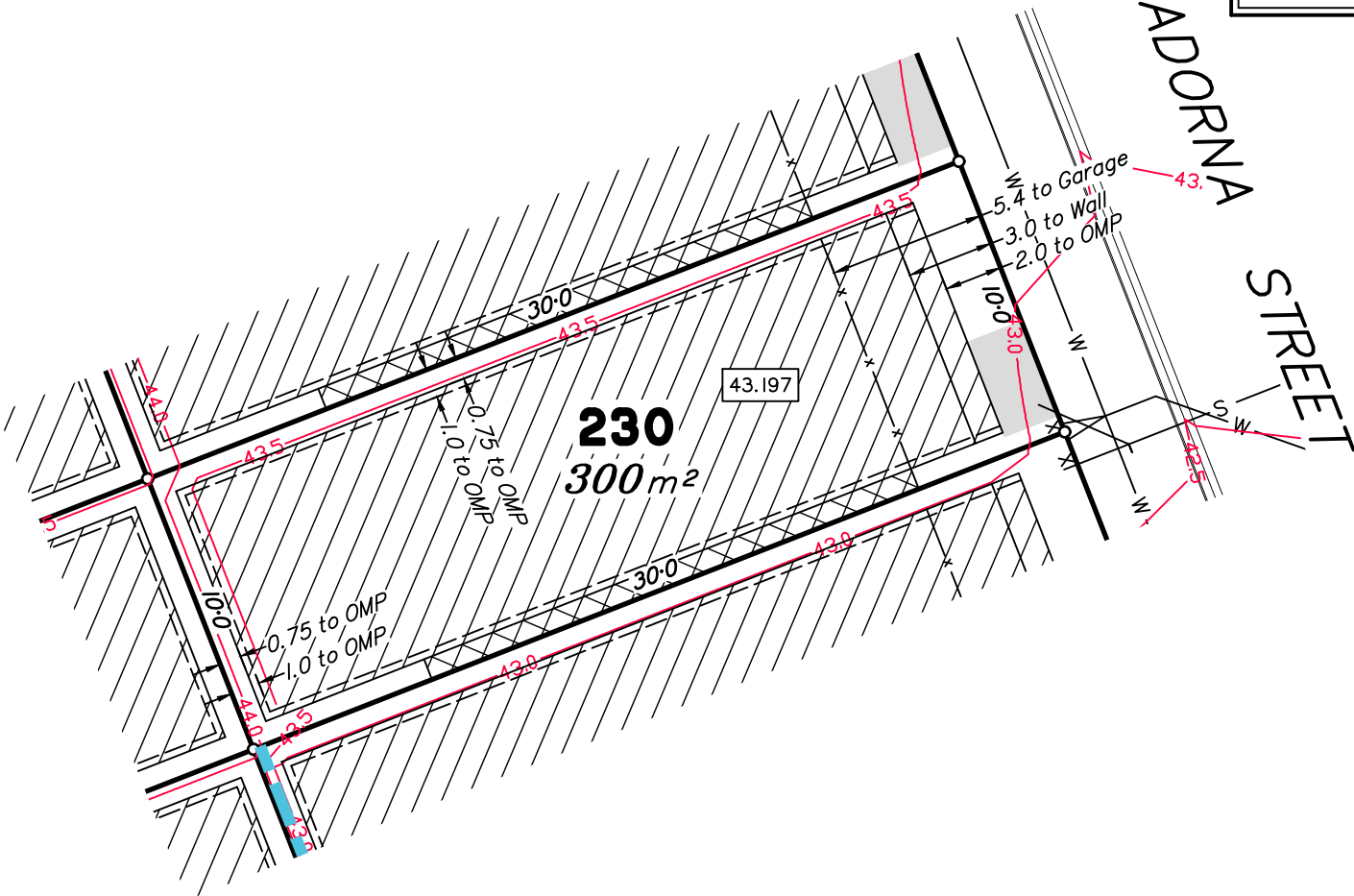
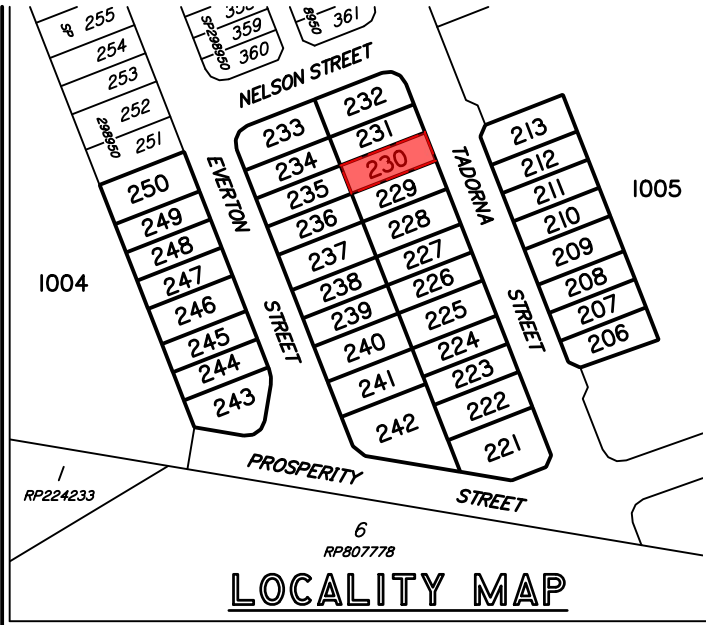
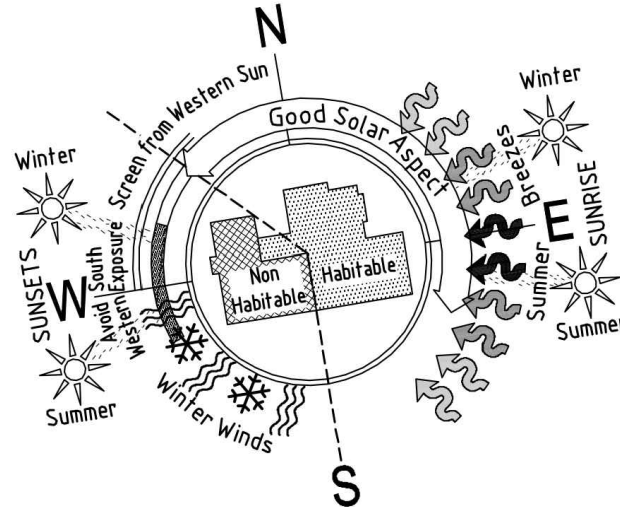
Contour Interval – 0.5 metre

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- Lower Level
- Upper Level
- x—x Garage Limit

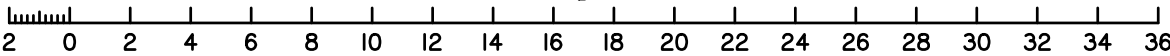
Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



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Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/230	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			



HOUSE SITING PLAN  
PROPOSED LOT 231

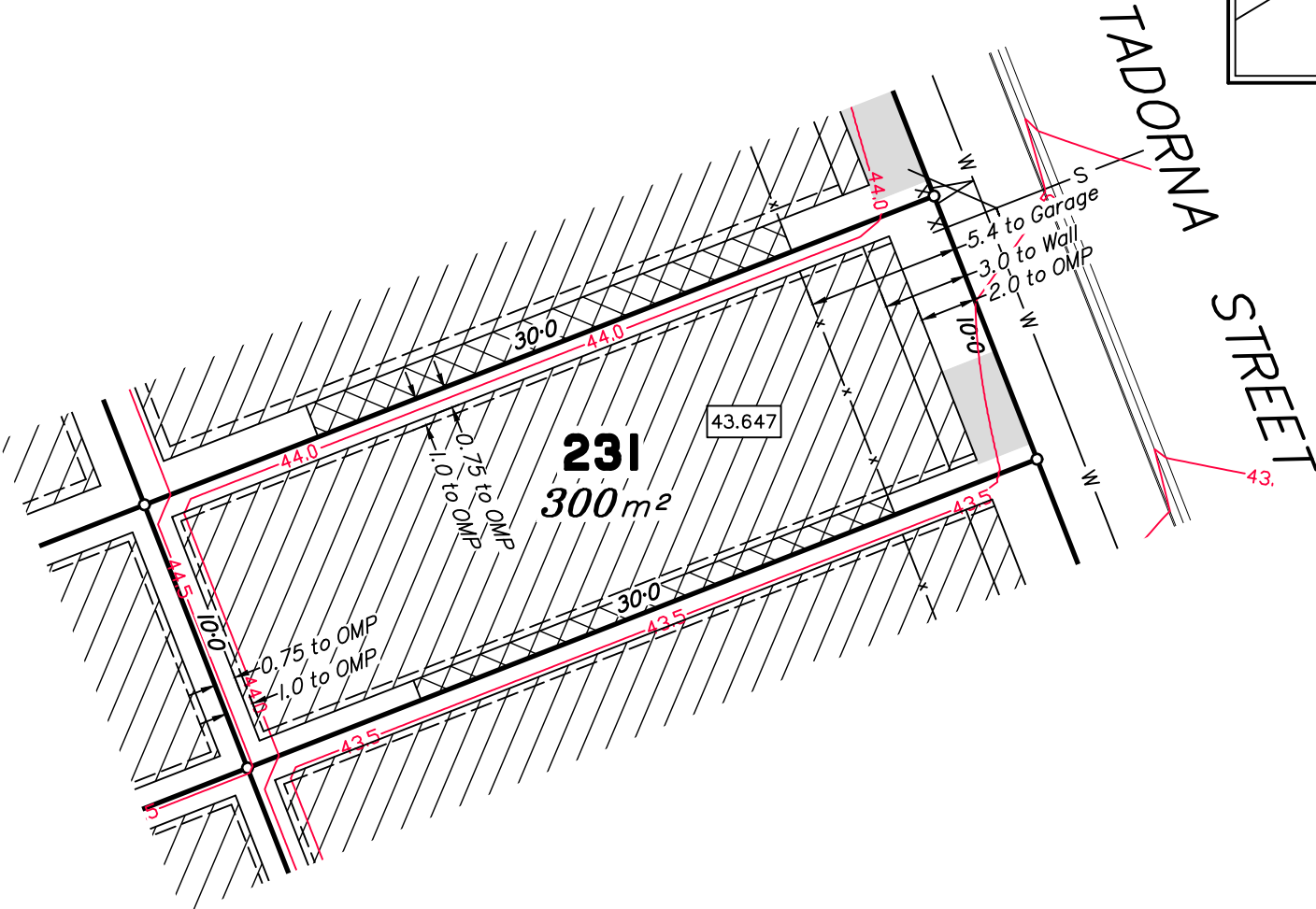
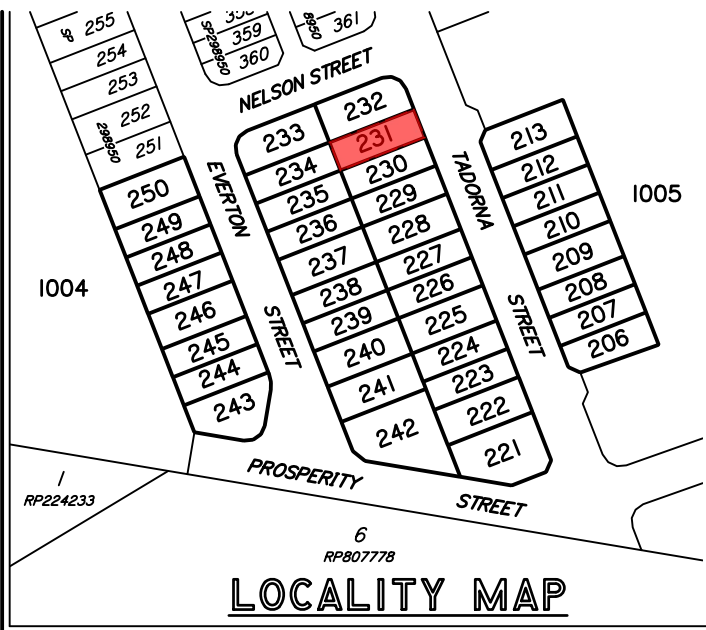
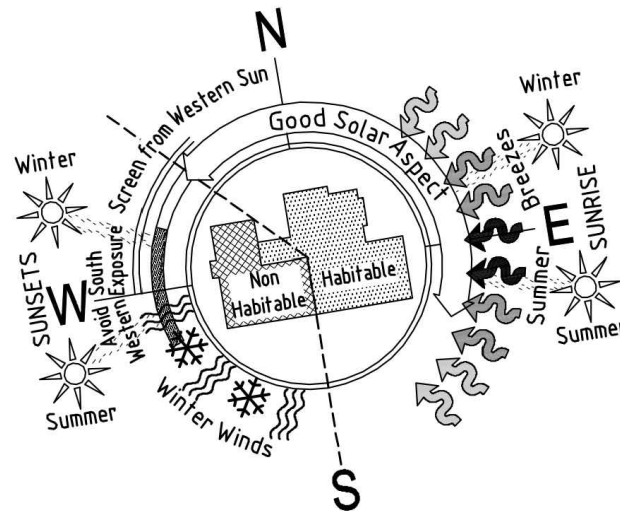
Cancelling part of Lot 1003 on SP298957 and  
Lots 1 & 2 on RP79384  
Locality of Narangba

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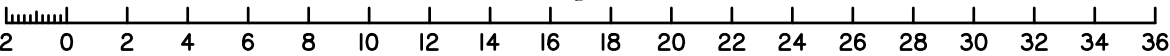
Contour Interval – 0.5 metre

- 50.0— Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- #### Pad Level
- S—● Sewer Line/ Manhole
- SW—● Stormwater Line / Manhole
- W—X Water Line / Fire Hydrant/ Stop Valve
- (SR)— Rising Sewer
- X Water Meter
- Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x—x Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/231	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			

HOUSE SITING PLAN  
PROPOSED LOT 232

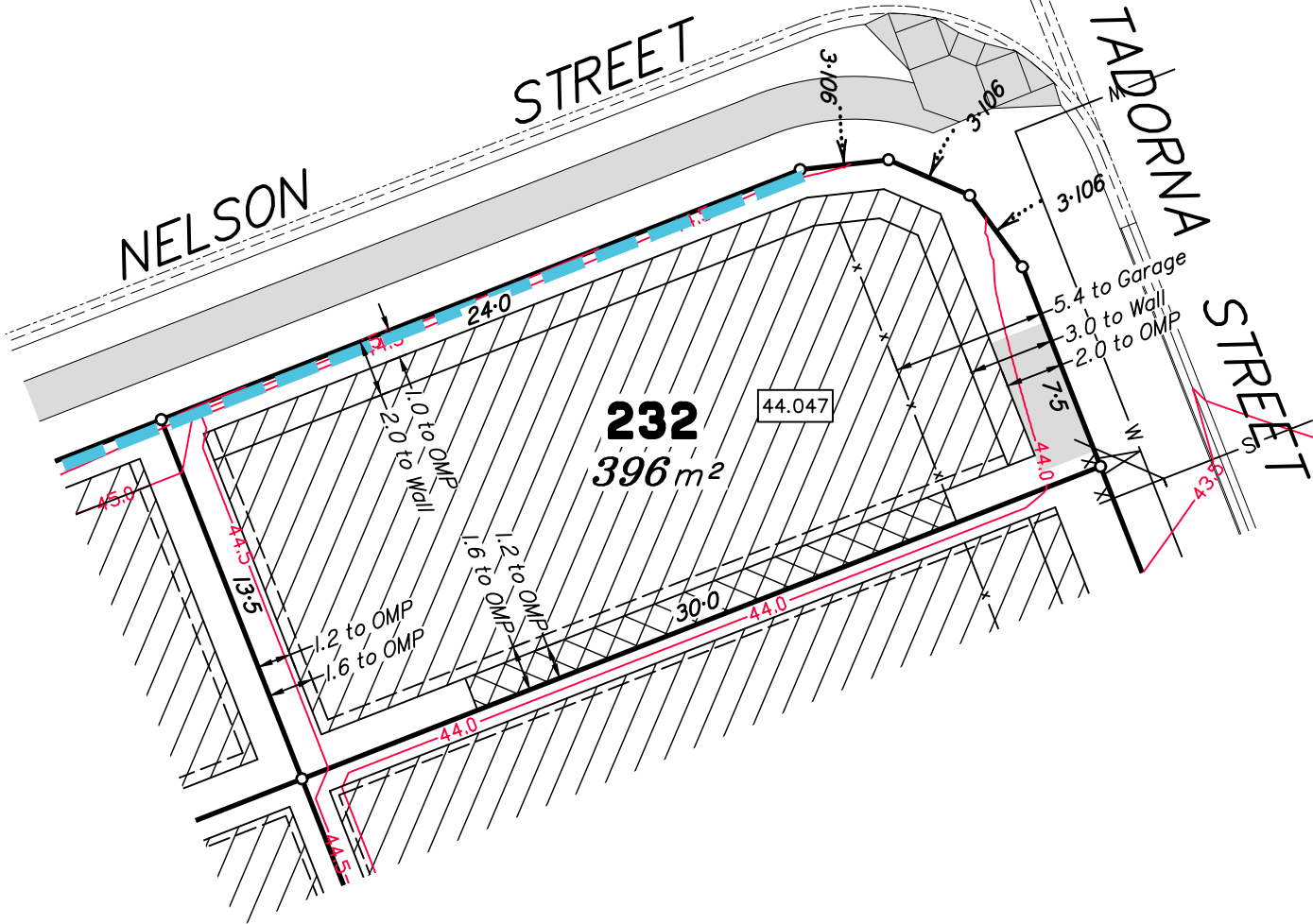
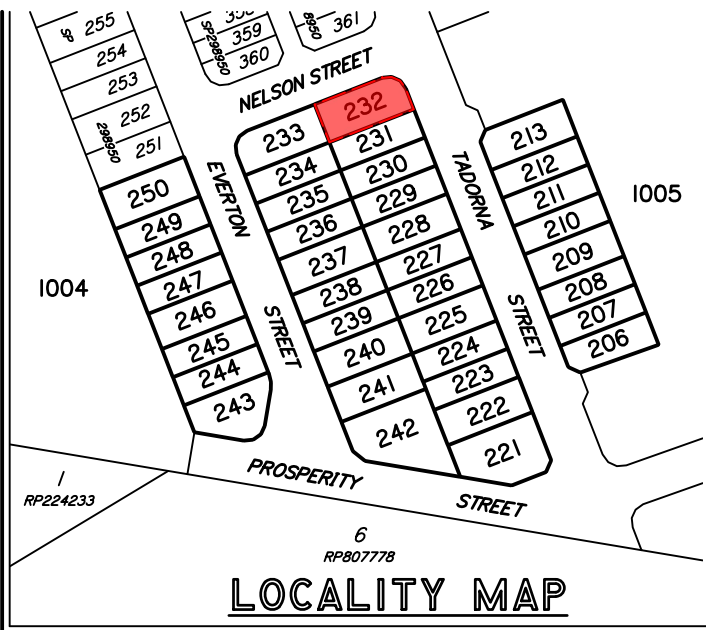
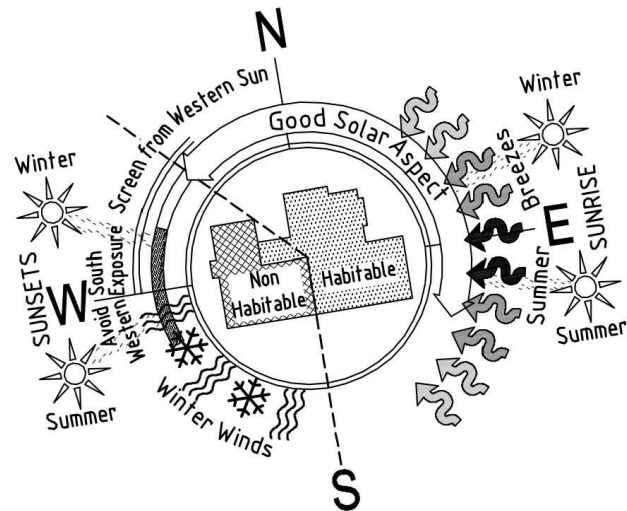
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Lots 1 & 2 on RP79384  
Locality of Narangba

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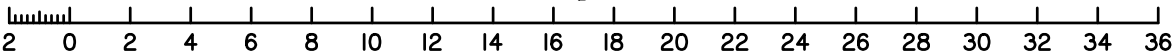
Contour Interval – 0.5 metre

- 50.0— Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- #### Pad Level
- S —● Sewer Line/ Manhole
- SW —● Stormwater Line / Manhole
- W —X Water Line / Fire Hydrant/ Stop Valve
- (SR) — Rising Sewer
- X Water Meter
- Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x — x — Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD

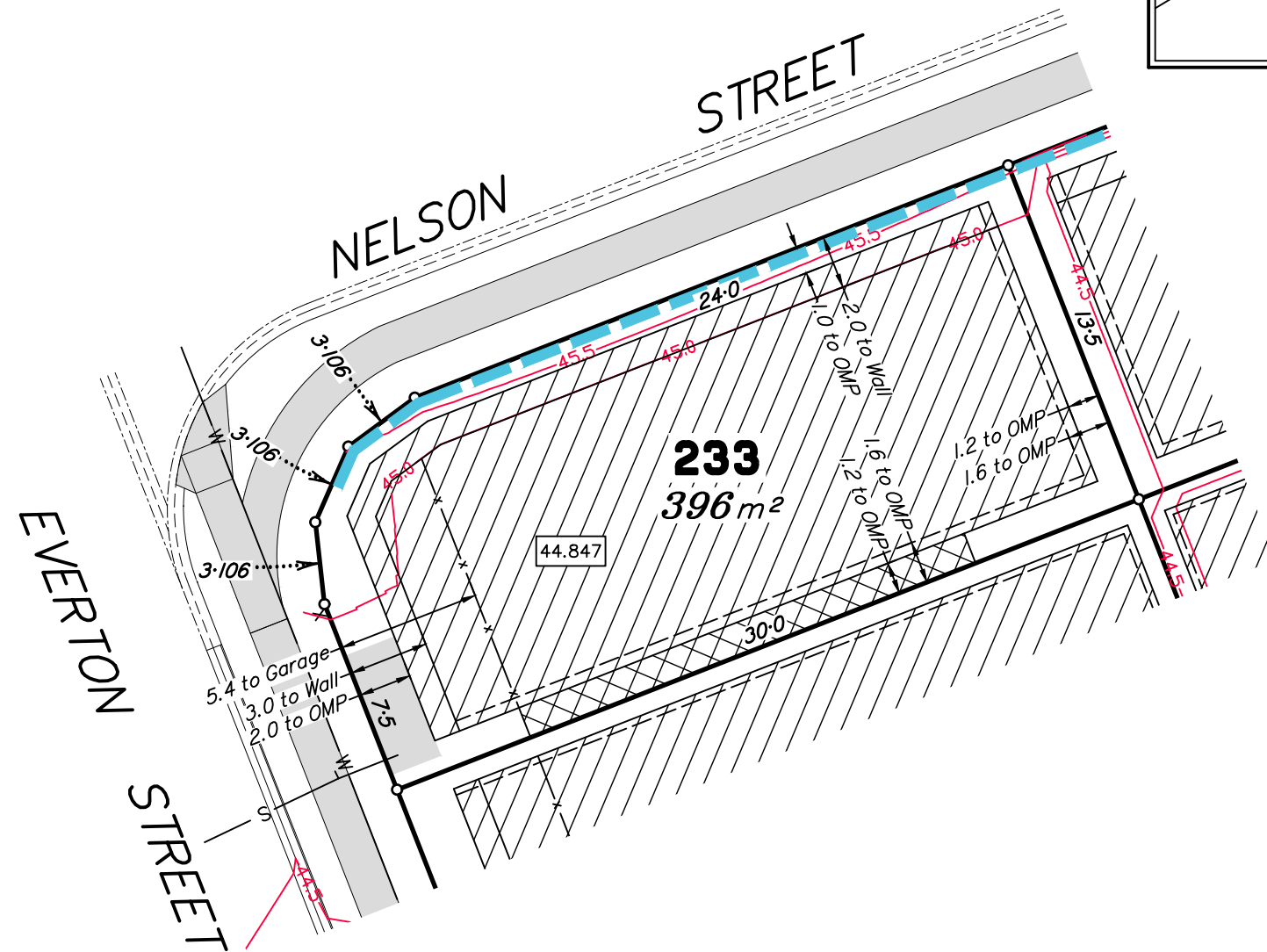
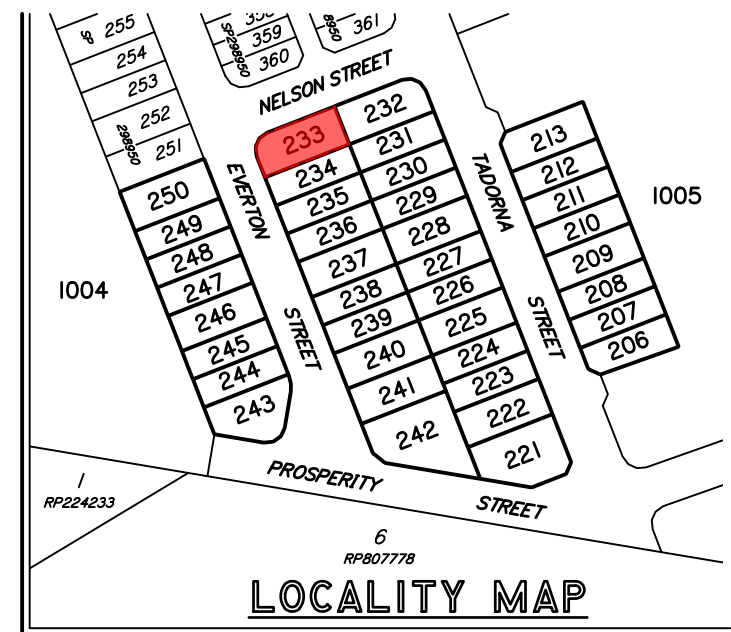
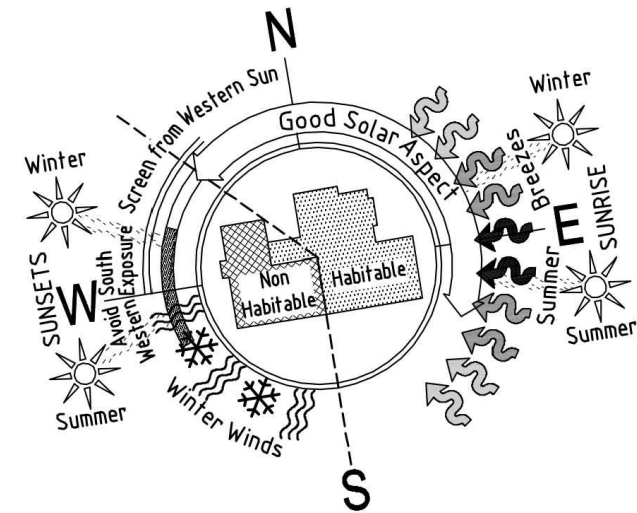


Scale 1:250 – Lengths are in Metres.

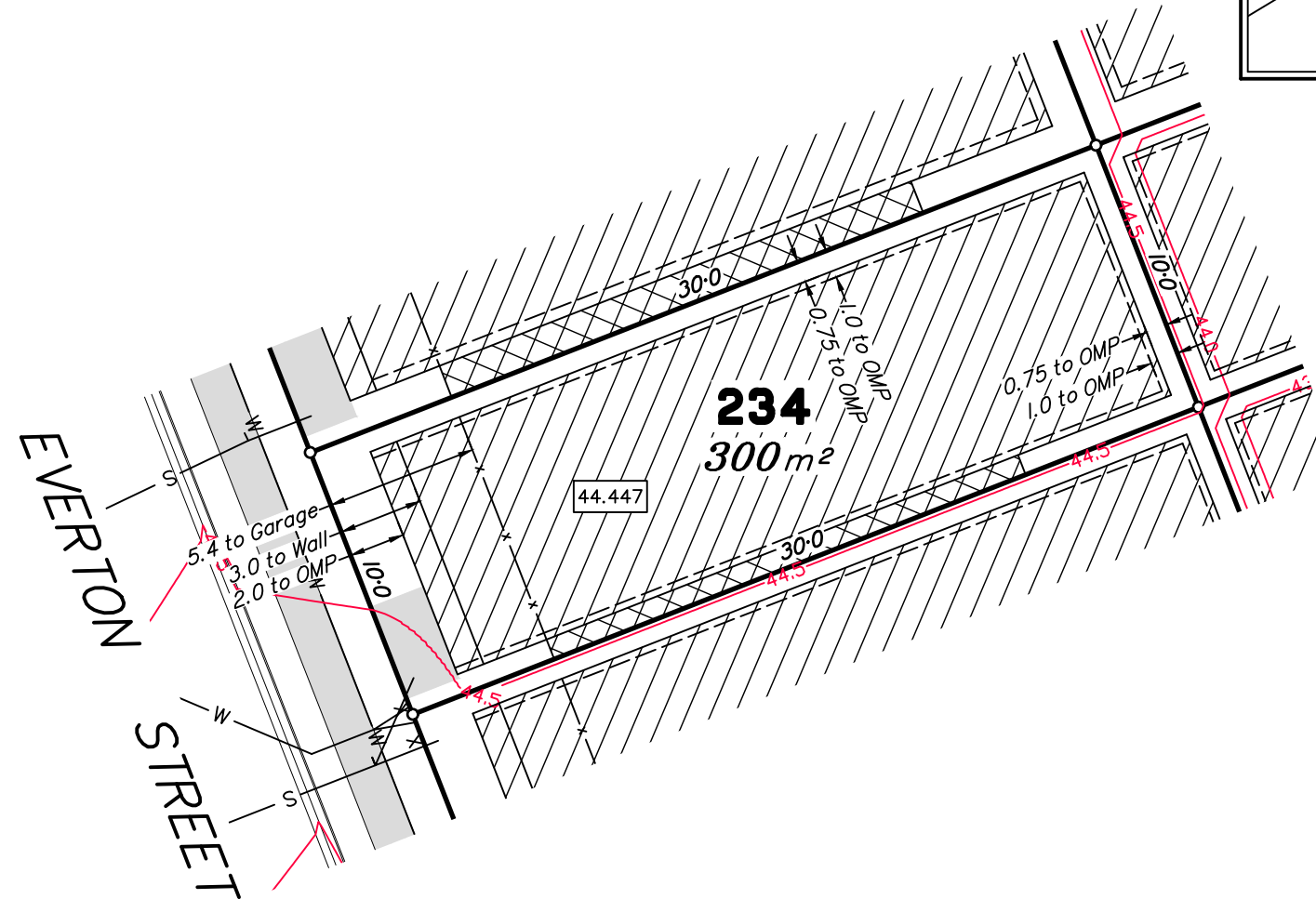
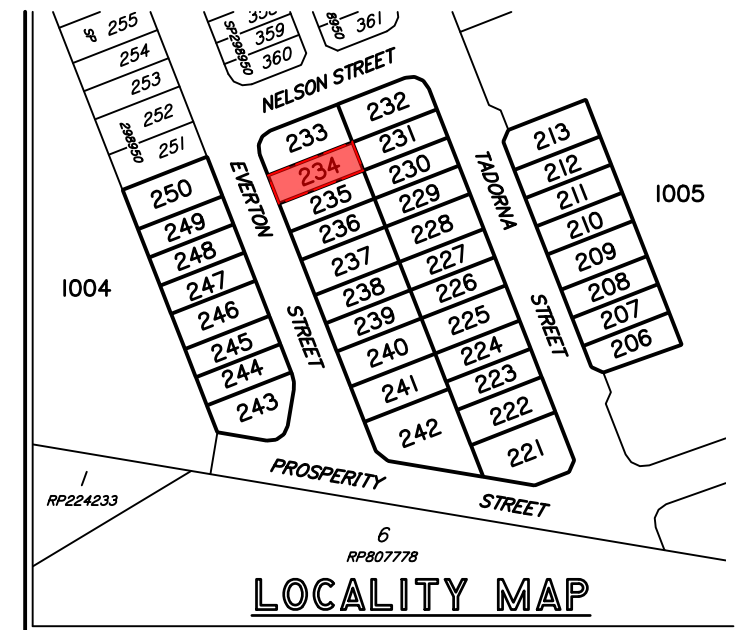
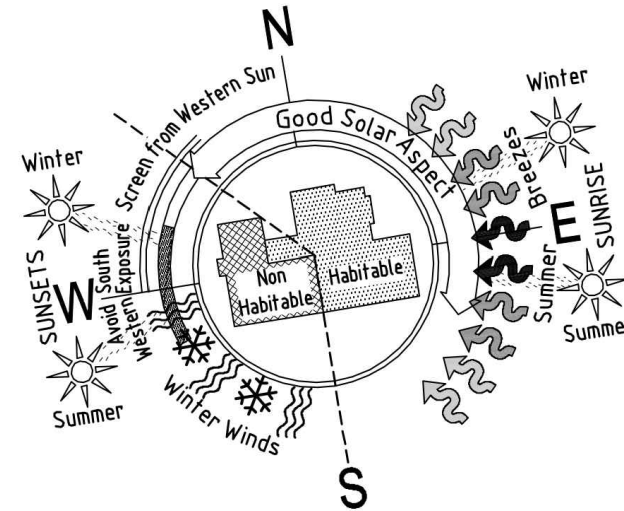


A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/232	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			





A	ORIGINAL ISSUE	08/10/20	AV	TV	<div>HOUSE SITING PLAN</div> <div>DAHUA POINTCORP NARANGBA PTY LTD</div> <div>STAGE 8A "AMITY"</div> <div>CALLAGHAN ROAD, NARANGBA</div>	Dwg No: A3-6099/233	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			





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**Design Contours**

Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)

##.##.## Pad Level

S Sewer Line/ Manhole

SW Stormwater Line / Manhole

W Water Line / Fire Hydrant/ Stop Valve

(SR) Rising Sewer

X Water Meter

Easement Boundary

Concrete Footpath or Driveway

Building Location Envelope

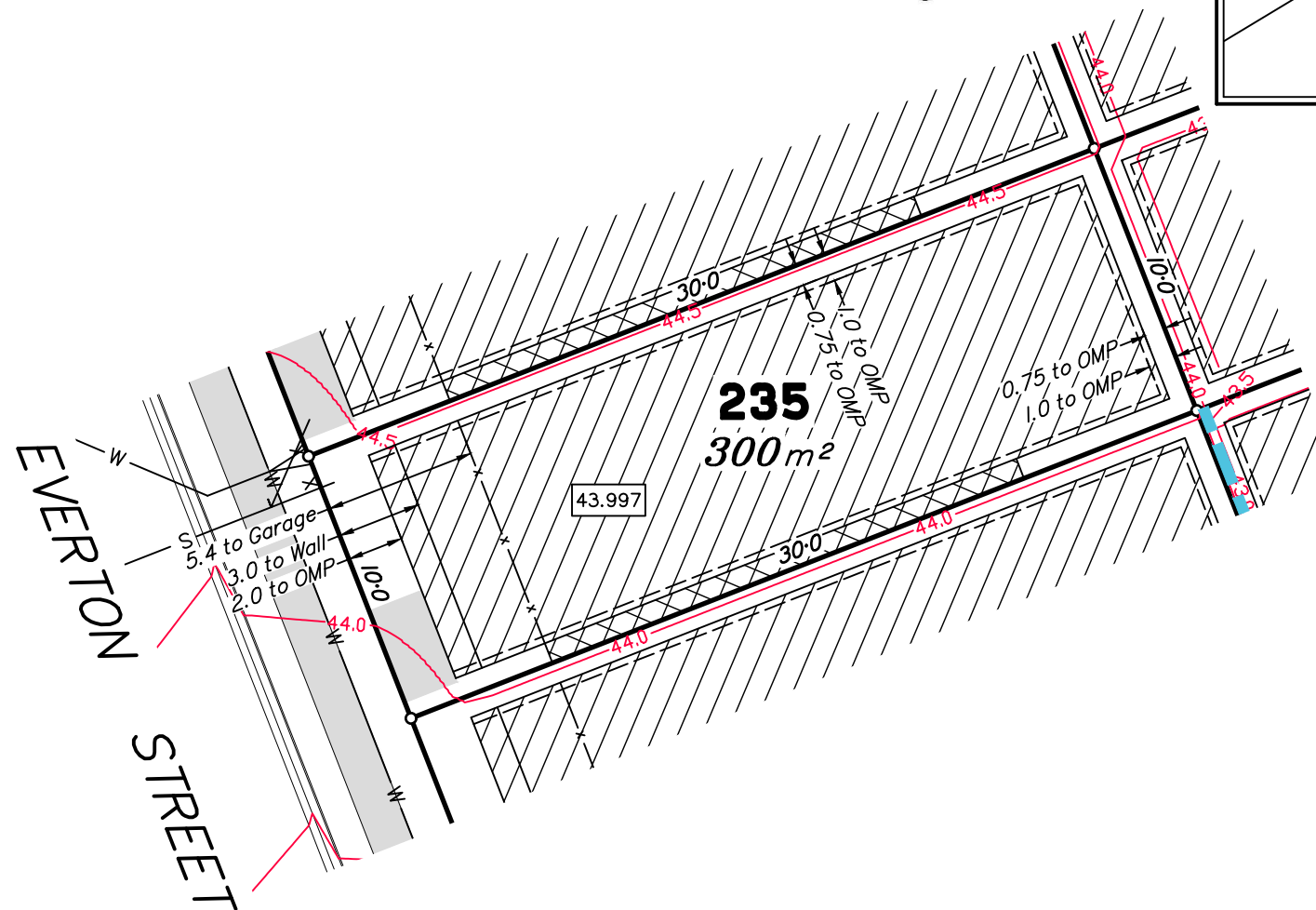
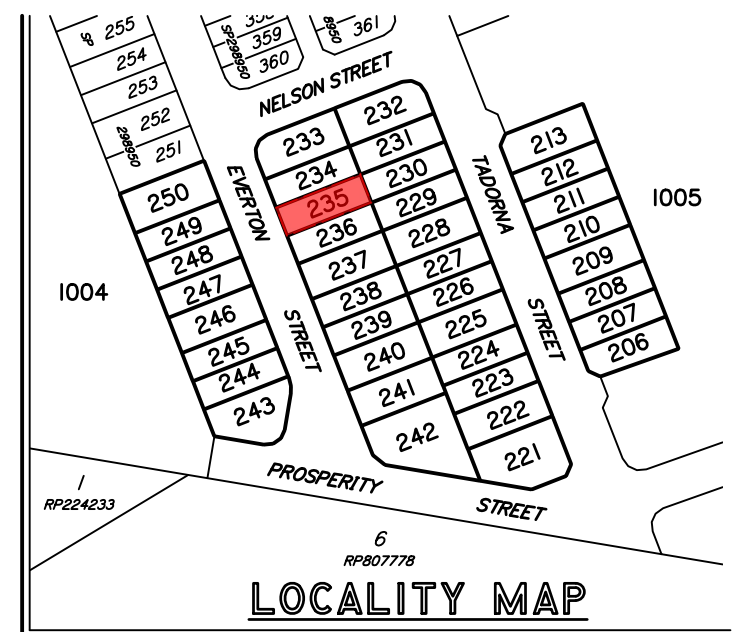
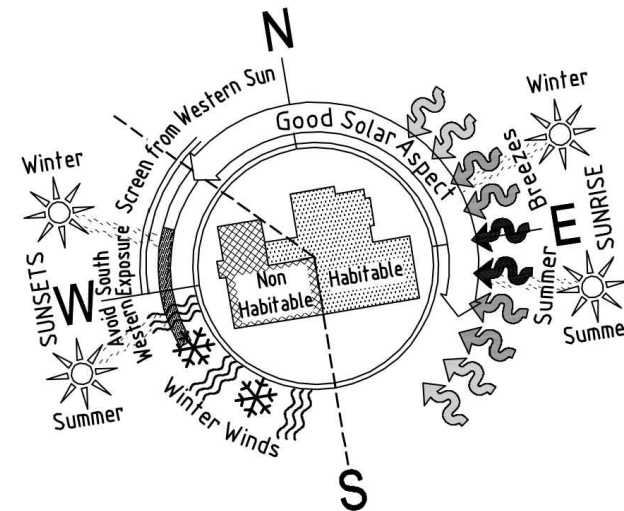
Built to Boundary Mandatory

Lower Level

Upper Level

x x Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No Contour  
Height Datum: AHD



A	ORIGINAL ISSUE	08/10/20	AV	TV	<p style="text-align: center;">HOUSE SITING PLAN</p> <p style="text-align: center;">DAHUA POINTCORP NARANGBA PTY LTD</p> <p style="text-align: center;">STAGE 8A "AMITY"</p> <p style="text-align: center;">CALLAGHAN ROAD, NARANGBA</p>	Dwg No: A3-6099/235	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			

HOUSE SITING PLAN  
PROPOSED LOT 236

Cancelling part of Lot 1003 on SP298957 and  
Lots 1 & 2 on RP79384  
Locality of Narangba

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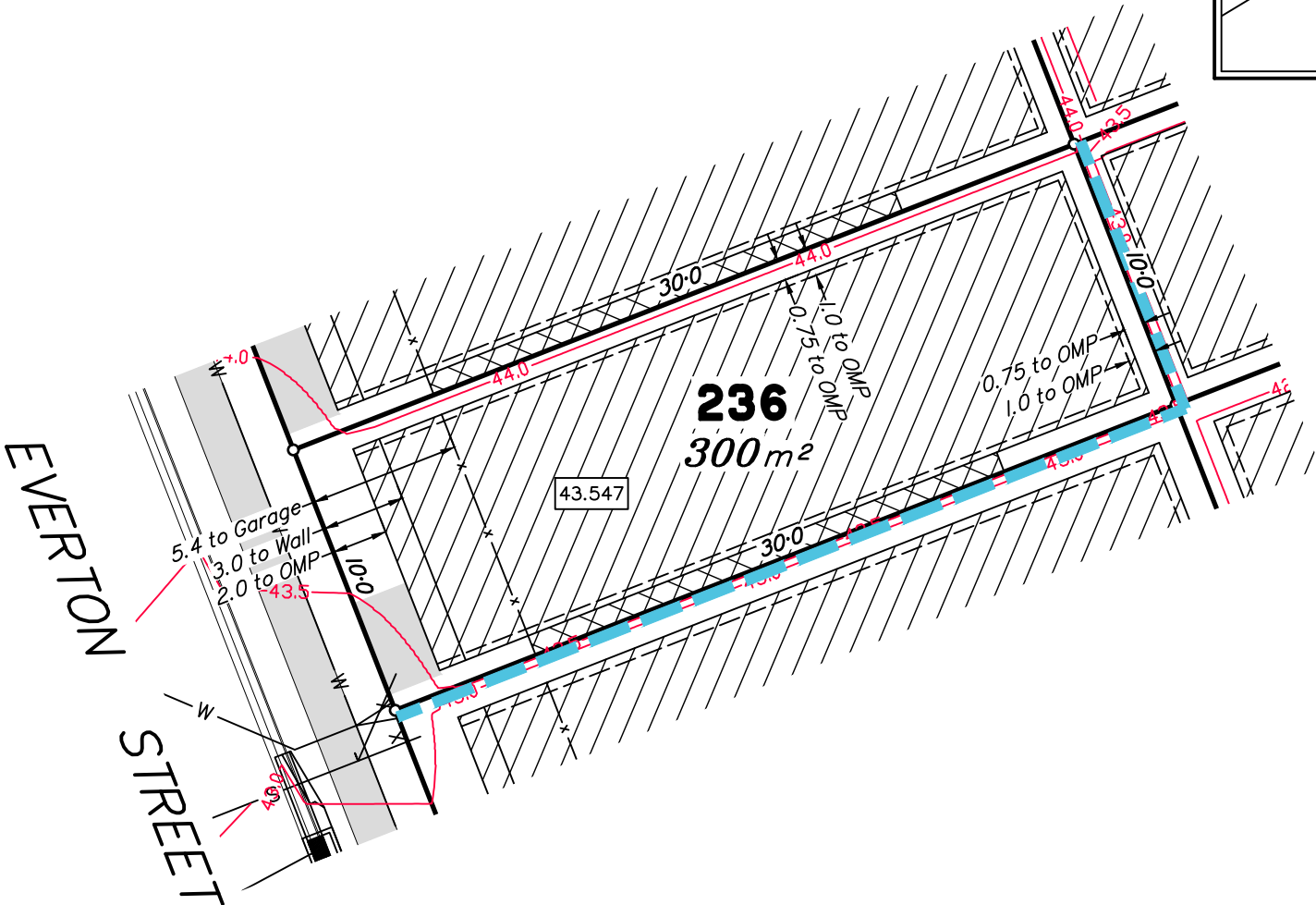
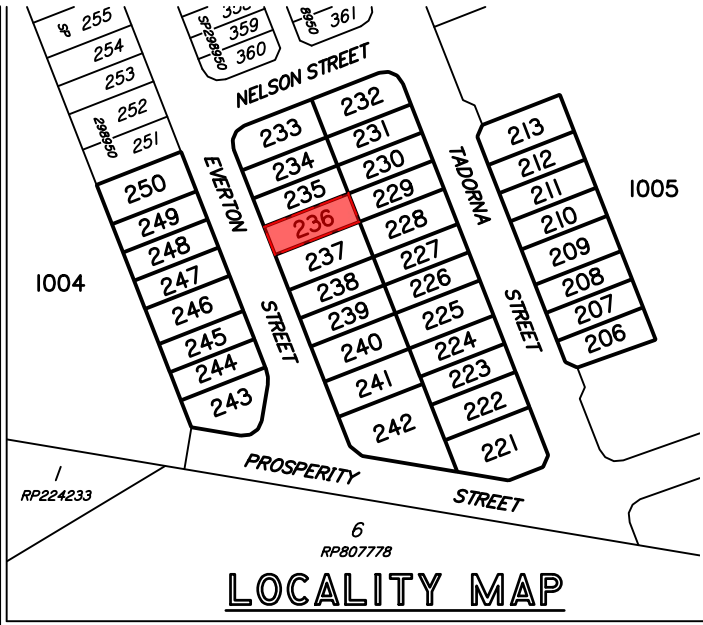
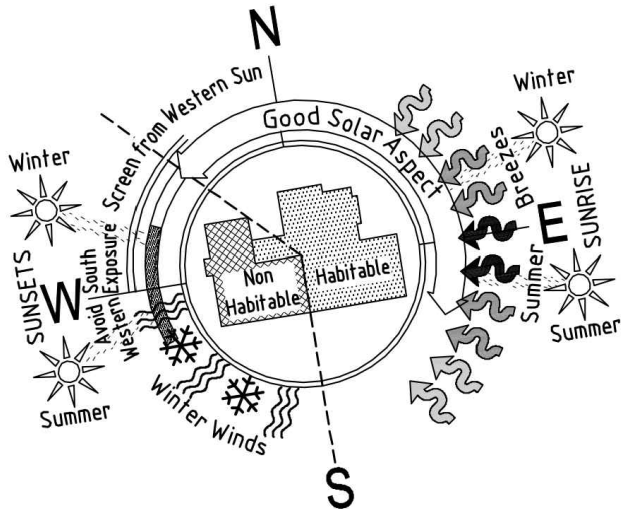
Contour Interval – 0.5 metre

- 50.0— Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- #### Pad Level
- S —● Sewer Line/ Manhole
- SW —● Stormwater Line / Manhole
- W —X Water Line / Fire Hydrant/ Stop Valve
- (SR) — Rising Sewer
- X — Water Meter
- — Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x — x — Garage Limit

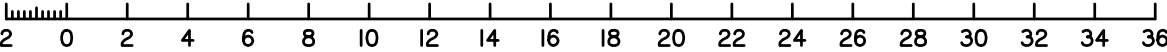
Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Brisbane Mackay  
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brisbane@dtsqld.com.au mackay@dtsqld.com.au



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/236	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			



HOUSE SITING PLAN  
PROPOSED LOT 237

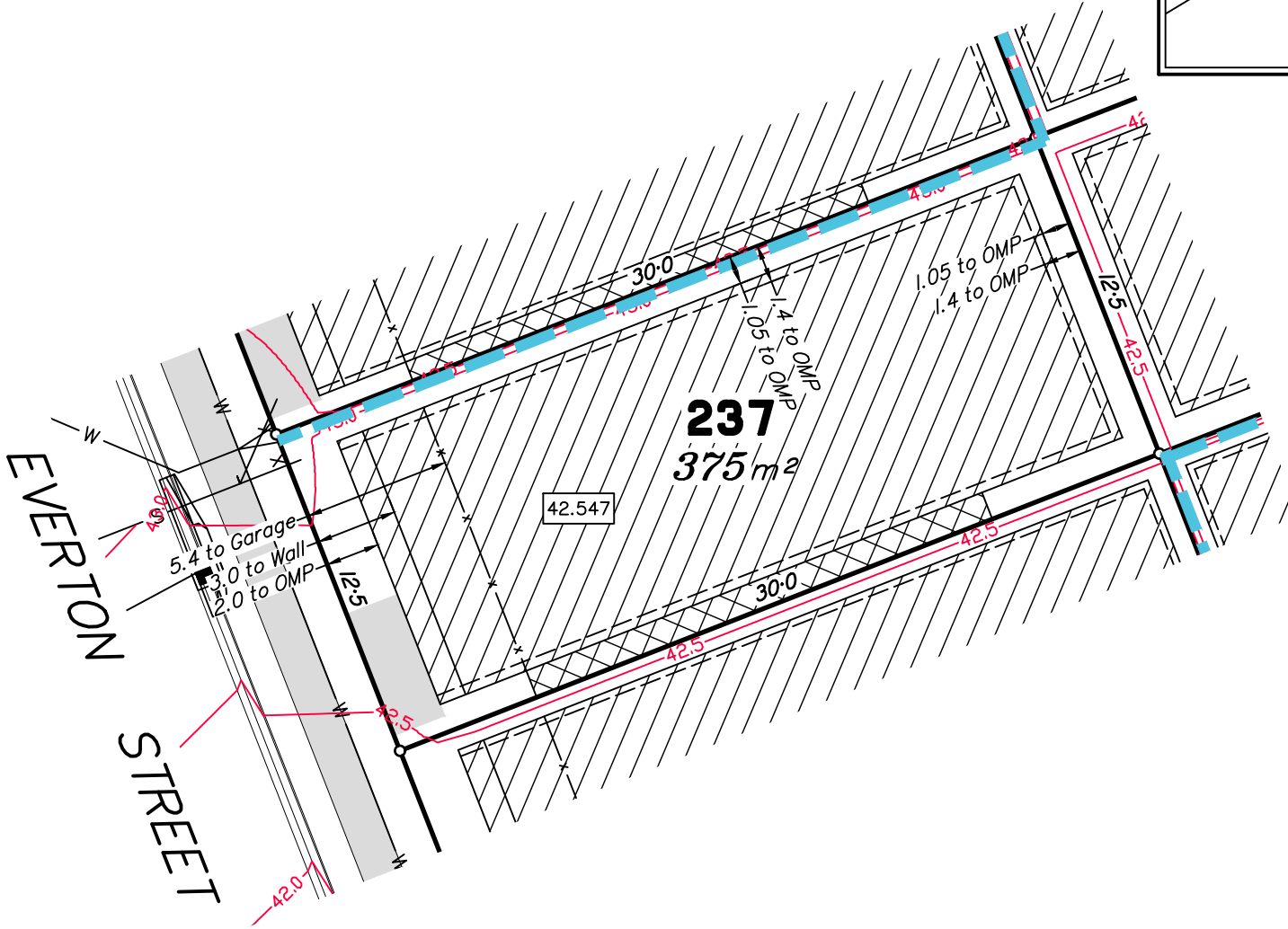
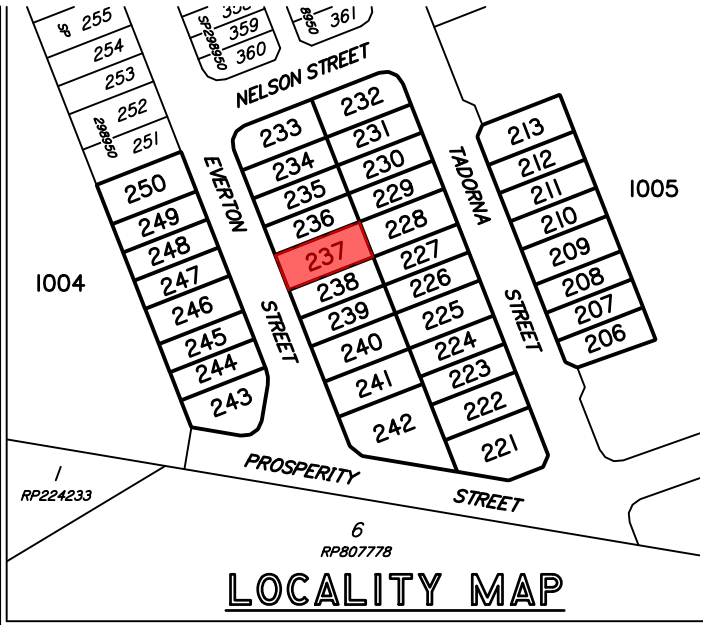
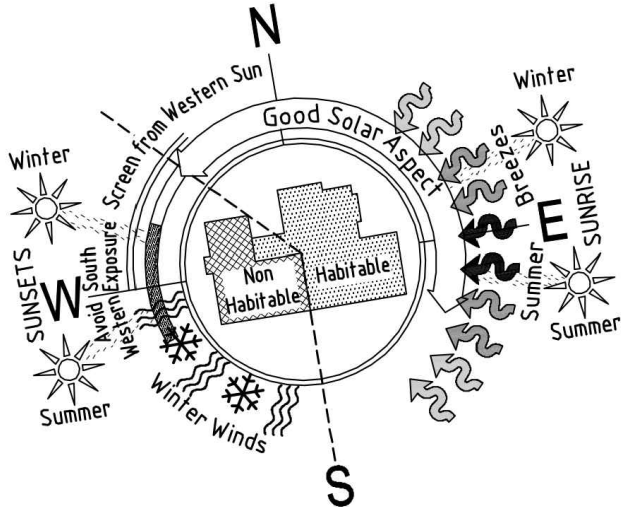
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Locality of Narangba

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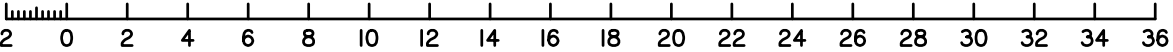
Contour Interval – 0.5 metre

- 50.0— Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- #### Pad Level
- S —● Sewer Line/ Manhole
- SW —● Stormwater Line / Manhole
- W —X Water Line / Fire Hydrant/ Stop Valve
- (SR) — Rising Sewer
- X — Water Meter
- — Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x — x — Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV
Issue	Details	Date	Drawn	Checked

HOUSE SITING PLAN  
DAHUA POINTCORP NARANGBA PTY LTD  
STAGE 8A "AMITY"  
CALLAGHAN ROAD, NARANGBA

Dwg No: A3–6099/237	Issue: A
Project: BNE150725	
File: B150725Sk9.dwg	

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**50.0** Design Contours

Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)

##.### Pad Level

S Sewer Line/ Manhole

SW Stormwater Line / Manhole

W Water Line / Fire Hydrant/ Stop Valve

(SR) Rising Sewer

X Water Meter

Easement Boundary

Concrete Footpath or Driveway

Building Location Envelope

Built to Boundary Mandatory

Lower Level

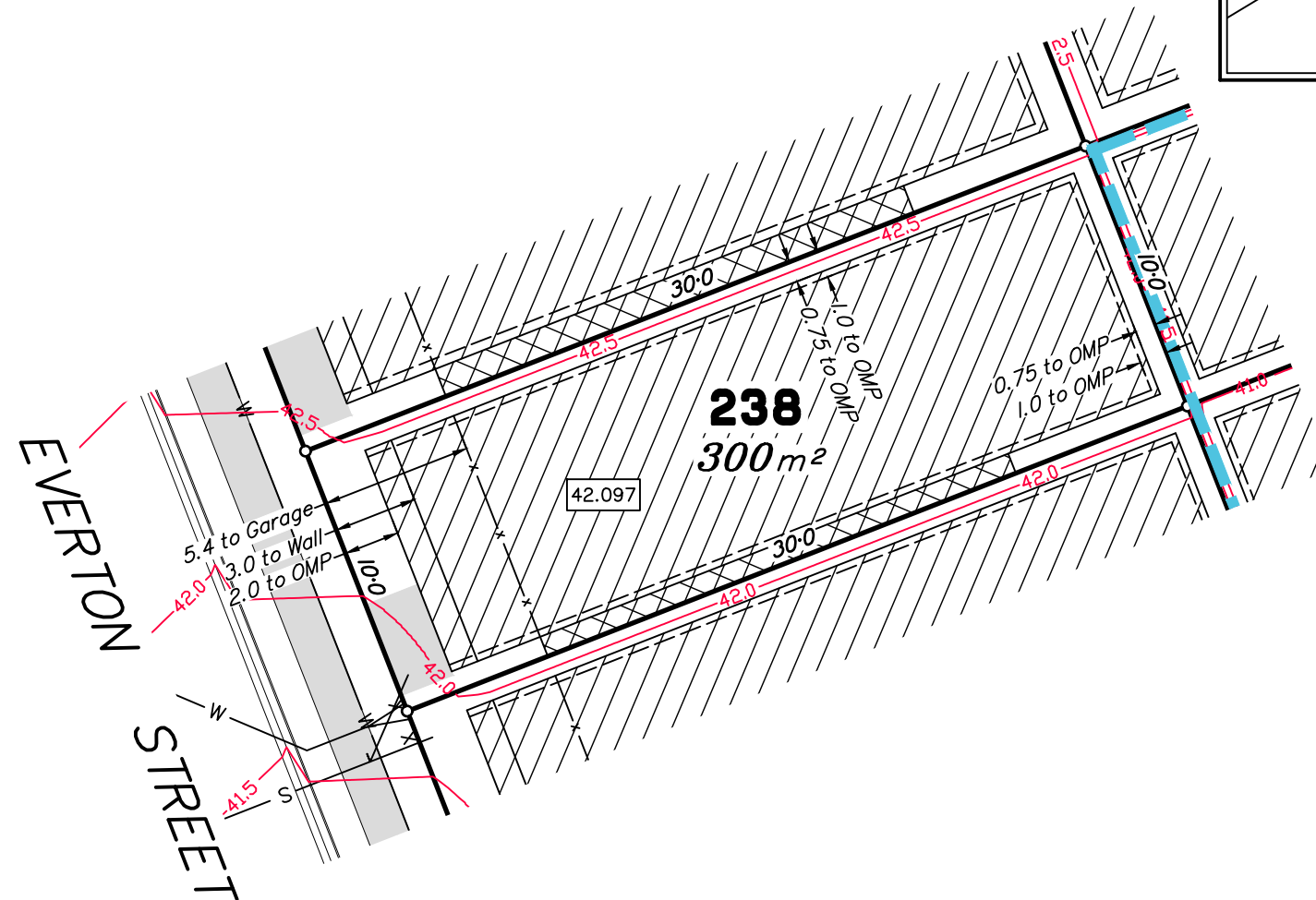
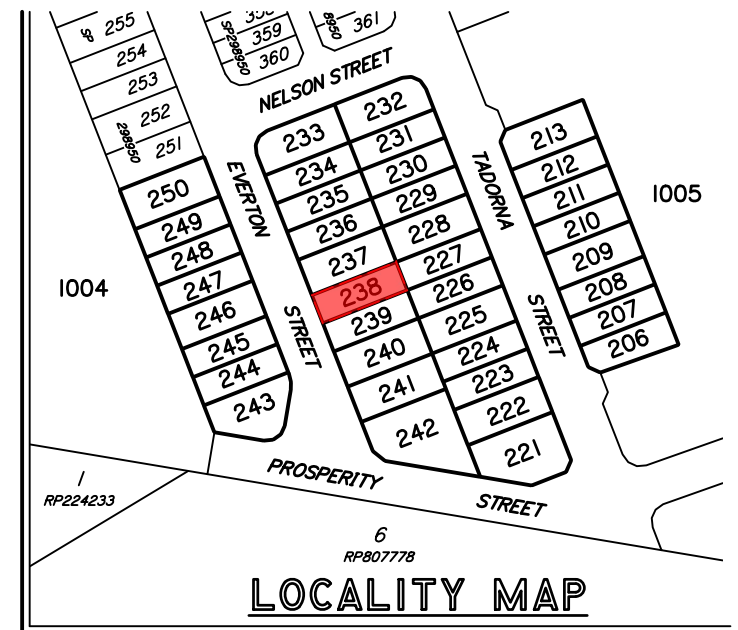
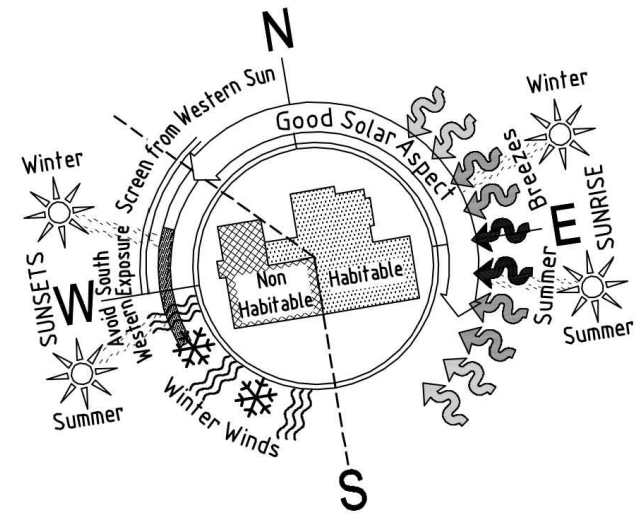
Upper Level

x x Garage Limit

 **dts** urban planning, surveying  
& development

**Brisbane**  
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**Mackay**  
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HOUSE SITING PLAN  
PROPOSED LOT 239

Cancelling part of Lot 1003 on SP298957 and  
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Locality of Narangba

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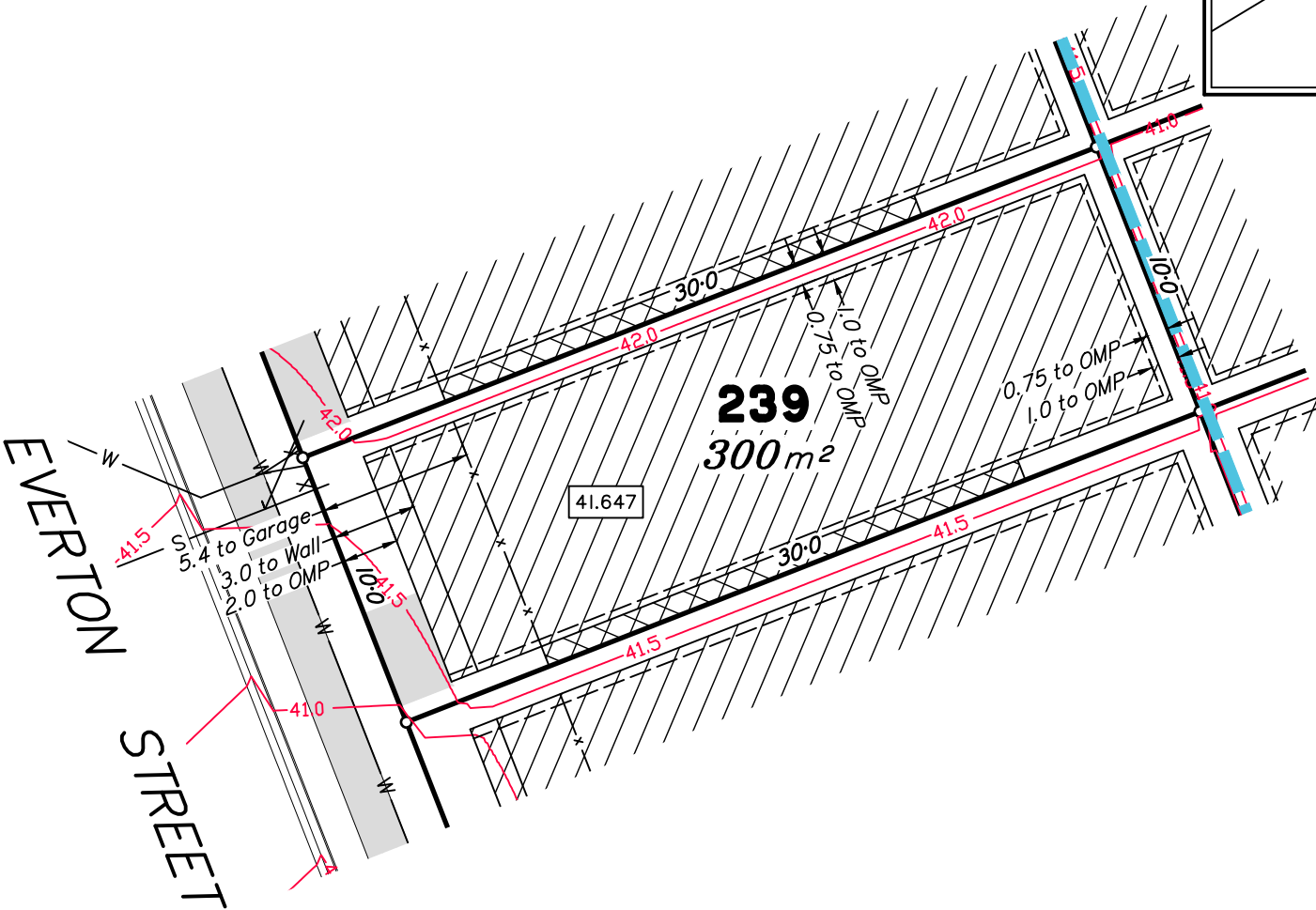
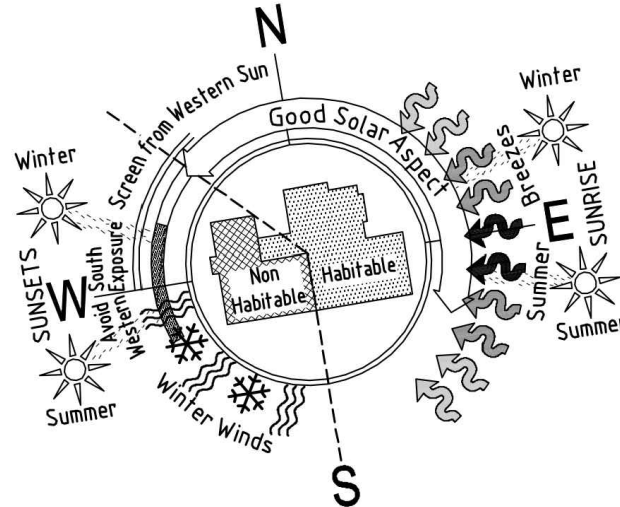
Contour Interval – 0.5 metre

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- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
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- S —●— Sewer Line/ Manhole
- SW —●— Stormwater Line / Manhole
- W —X— Water Line / Fire Hydrant/ Stop Valve
- (SR) — Rising Sewer
- X Water Meter
- Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x — x — Garage Limit

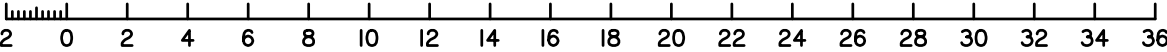
Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



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Scale 1:250 – Lengths are in Metres.



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						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			

HOUSE SITING PLAN  
PROPOSED LOT 240

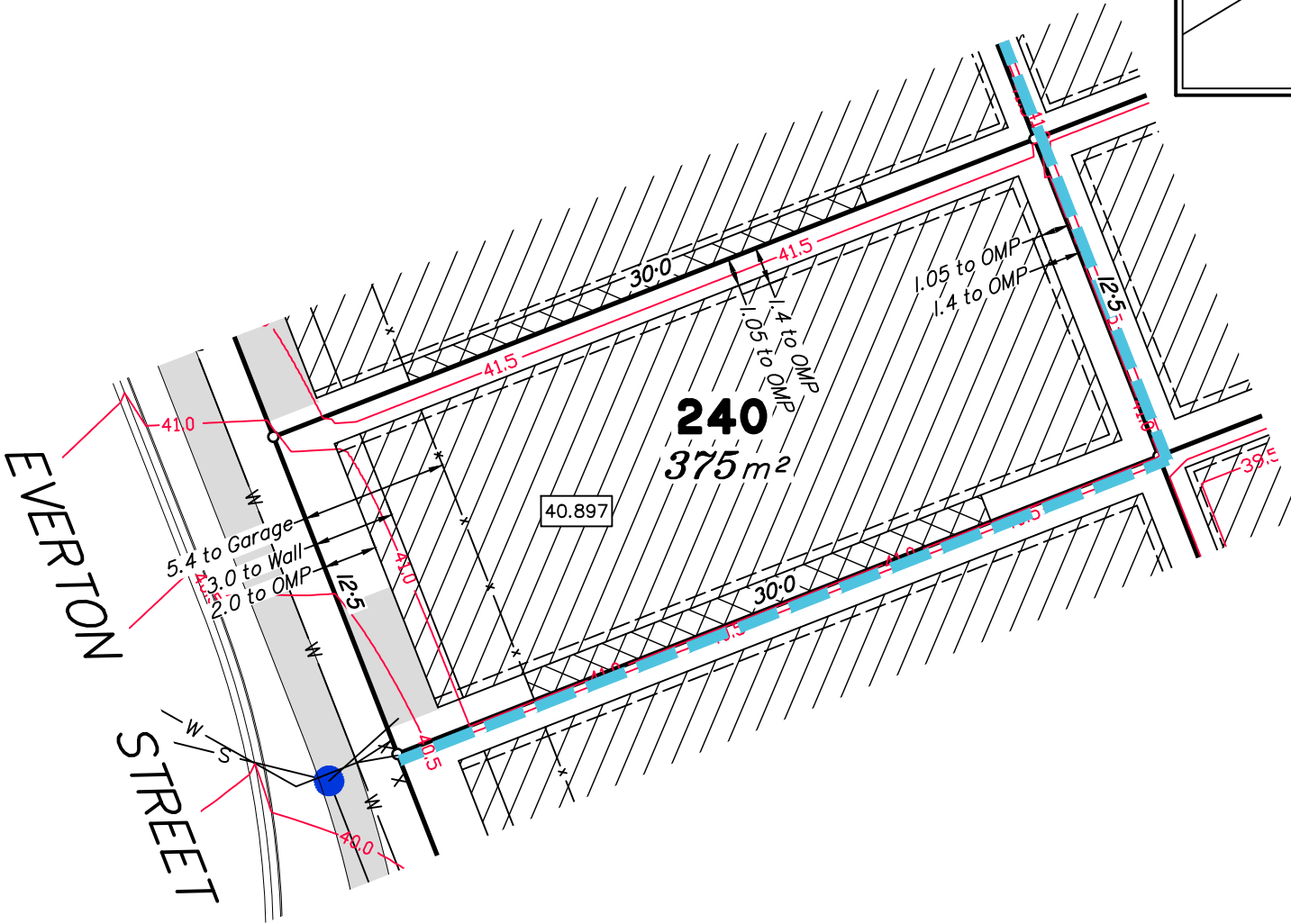
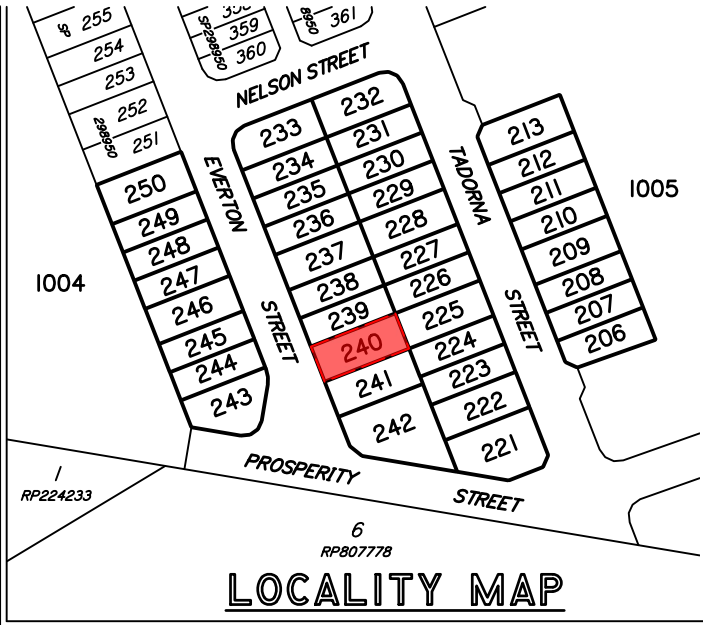
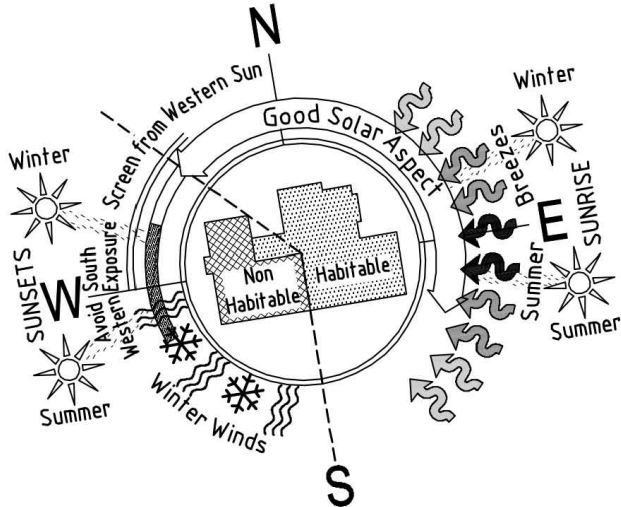
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Locality of Narangba

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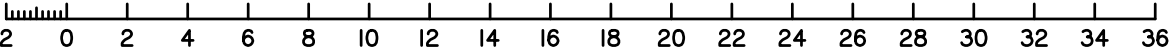
Contour Interval – 0.5 metre

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- Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x—x Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



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						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			



HOUSE SITING PLAN  
PROPOSED LOT 241

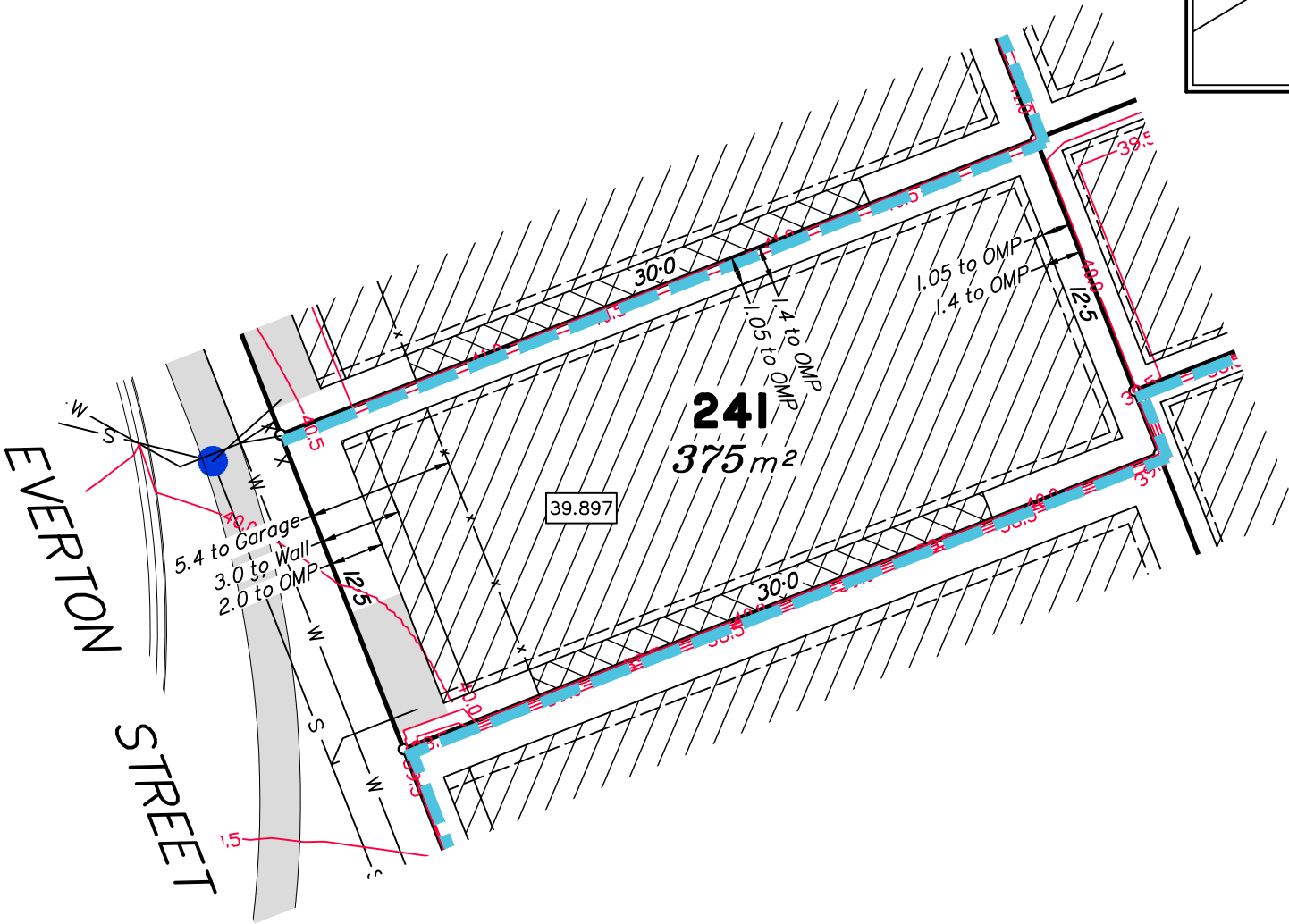
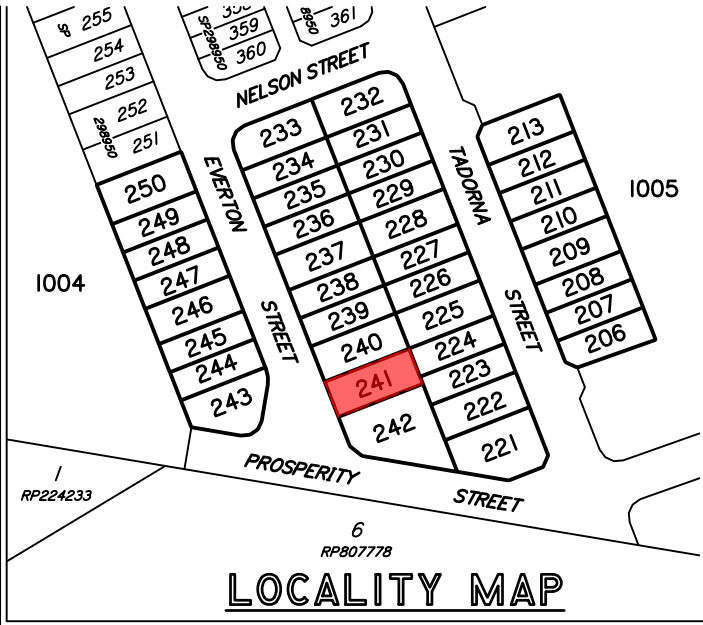
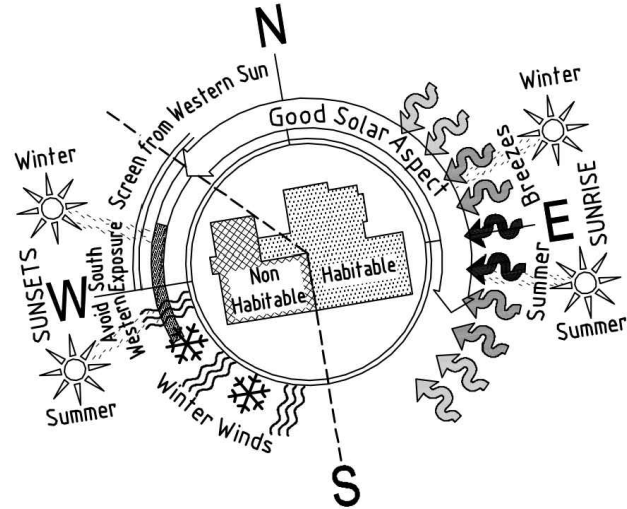
Cancelling part of Lot 1003 on SP298957 and  
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Locality of Narangba

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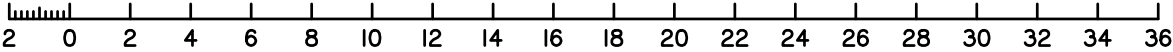
Contour Interval – 0.5 metre

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- #### Pad Level
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- (SR)— Rising Sewer
- X Water Meter
- Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x—x Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/241	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			

HOUSE SITING PLAN  
PROPOSED LOT 242

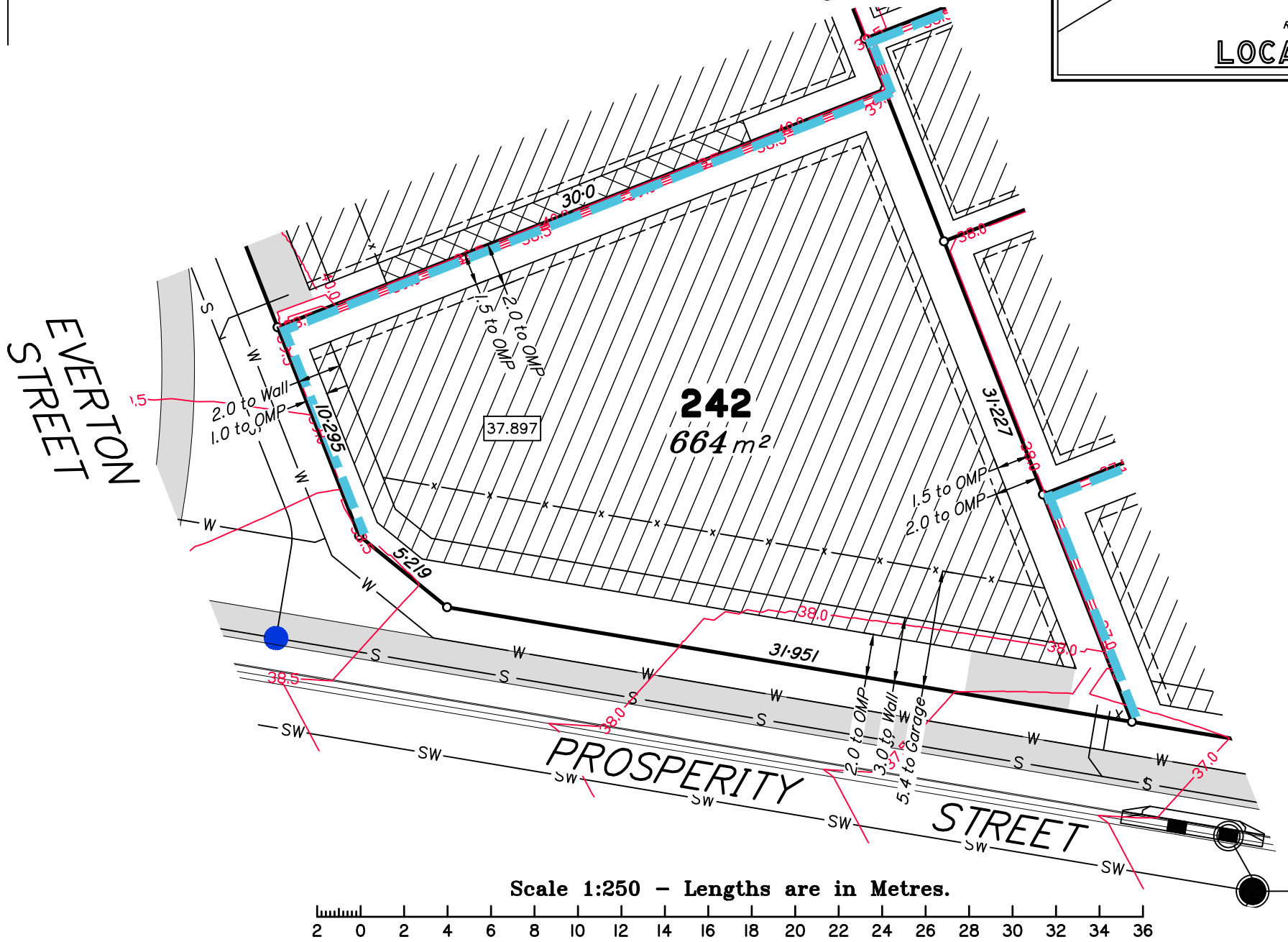
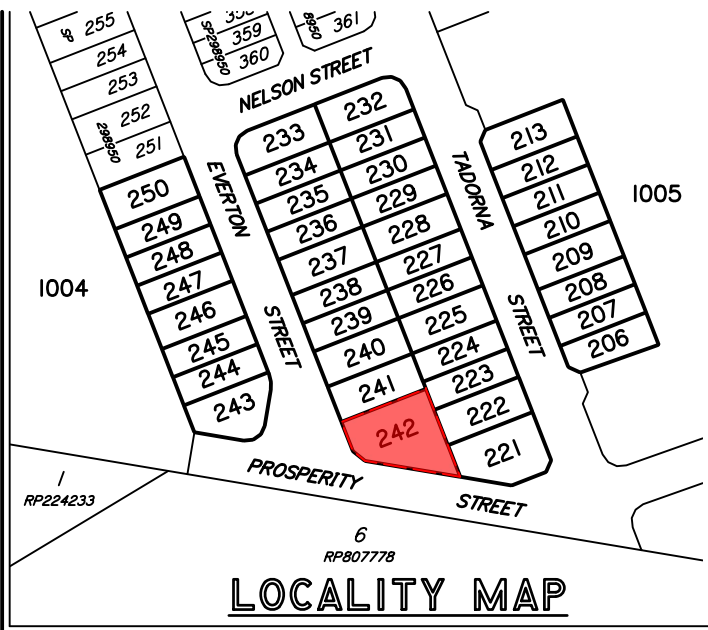
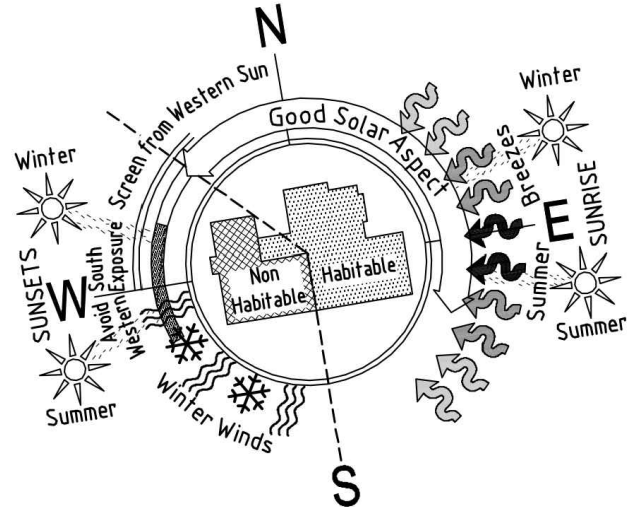
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- x — x — Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



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A	ORIGINAL ISSUE	08/10/20	AV	TV
Issue	Details	Date	Drawn	Checked

HOUSE SITING PLAN  
DAHUA POINTCORP NARANGBA PTY LTD  
STAGE 8A "AMITY"  
CALLAGHAN ROAD, NARANGBA

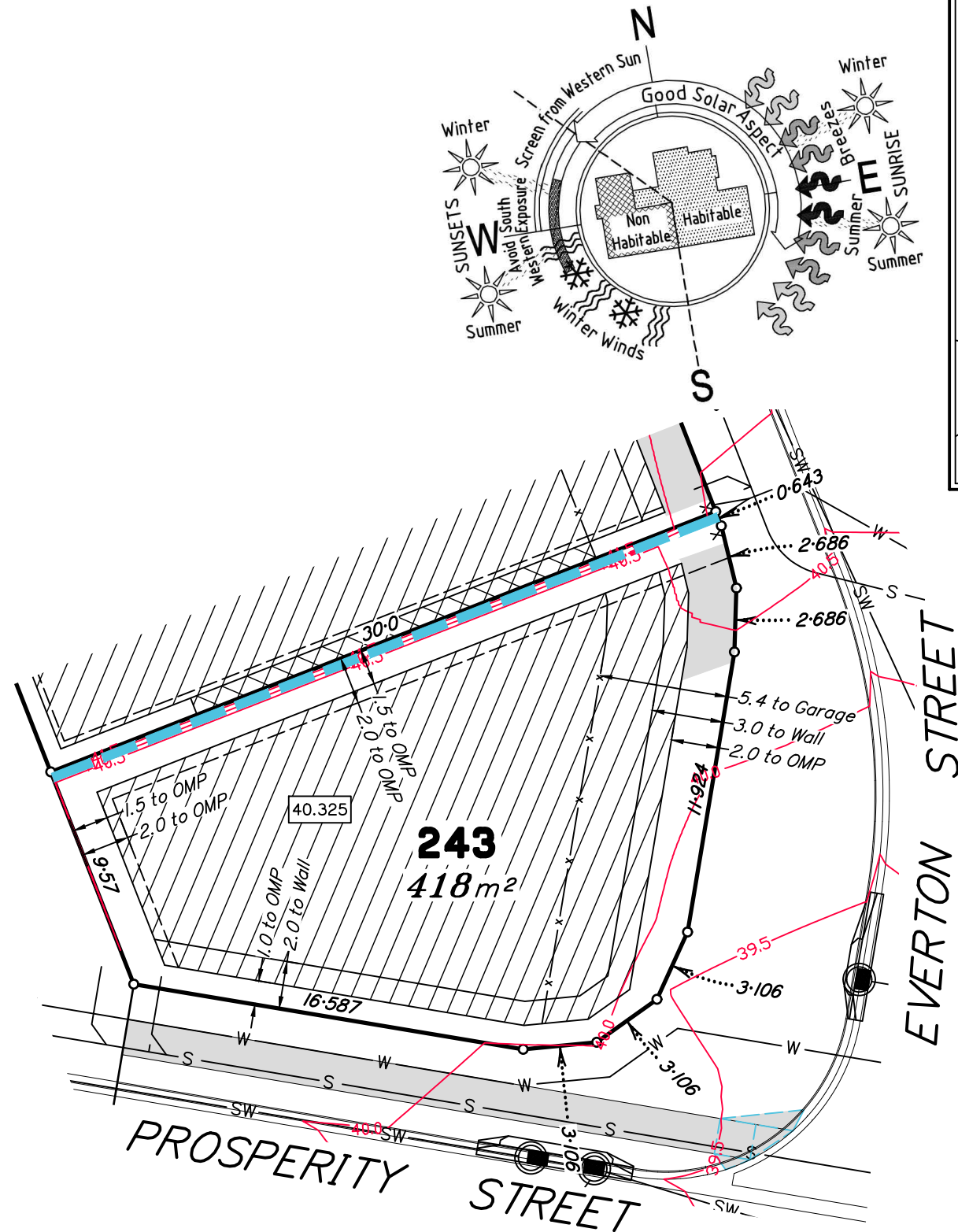
Dwg No: A3-6099/242	Issue: A
Project: BNE150725	
File: B150725Sk9.dwg	



 **dts** urban planning, surveying  
& development

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Map showing a locality with streets and house numbers:

- Nelson Street** (top): 359, 360, 361
- Eerion Street** (left): 255, 254, 253, 252, 251, 250, 249, 248, 247, 246, 245, 244, **243** (highlighted in red)
- Prosperity Street** (bottom): 223, 232, 234, 231, 235, 230, 236, 229, 237, 228, 238, 227, 239, 226, 240, 225, 241, 224, 242, 223, 222, 221
- Vanhook Street** (right): 213, 212, 211, 210, 209, 208, 207, 206

Other labels on the map include:

- 1004 (left side)
- 1005 (right side)
- RP224233 (bottom left)
- 6 (bottom center)
- RP807778 (bottom center)

**LOCALITY MAP**

A	ORIGINAL ISSUE	08/10/20	AV	TV	<div>HOUSE SITING PLAN</div> <div>DAHUA POINTCORP NARANGBA PTY LTD</div> <div>STAGE 8A "AMITY"</div> <div>CALLAGHAN ROAD, NARANGBA</div>	Dwg No: A3—6099/243	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			

HOUSE SITING PLAN  
PROPOSED LOT 244

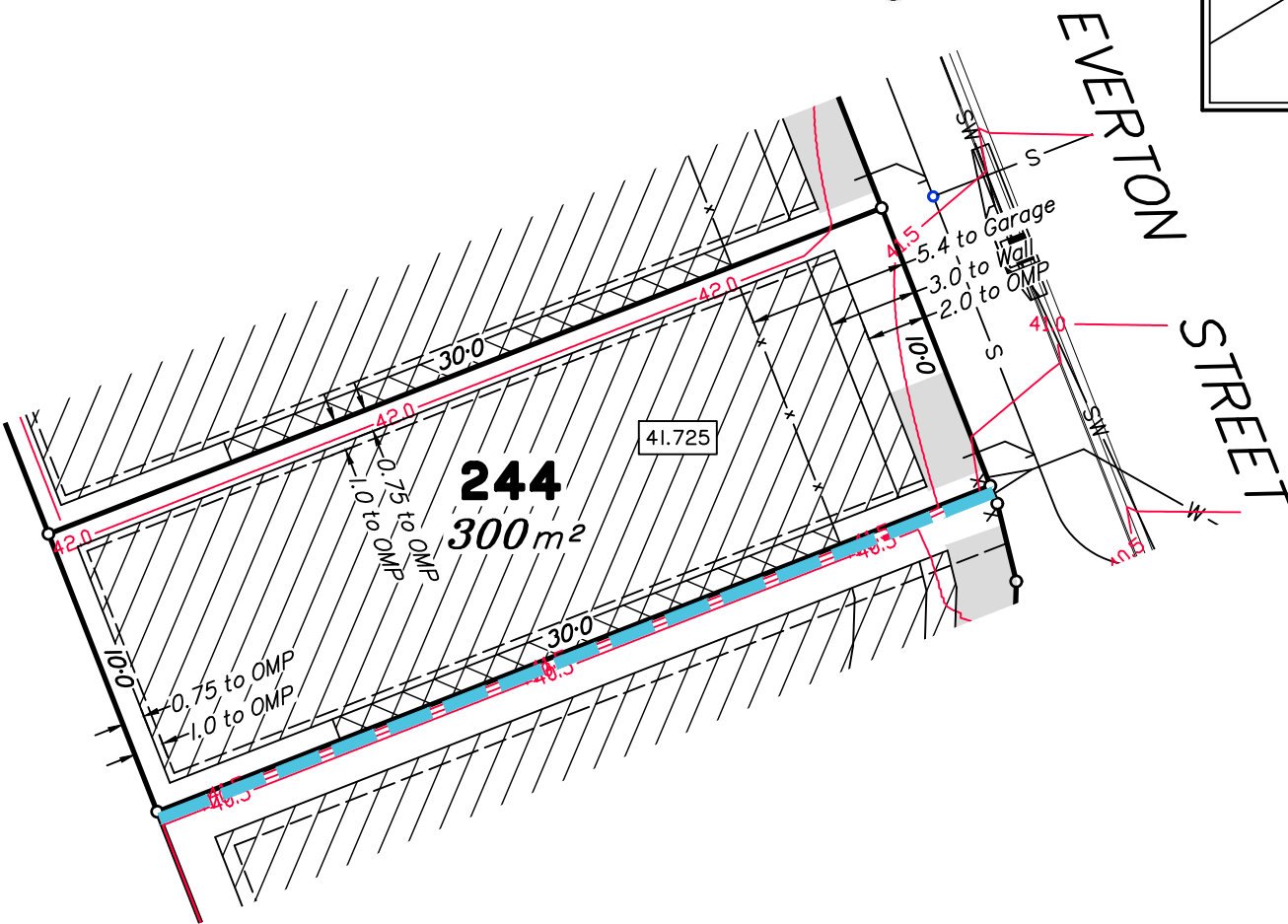
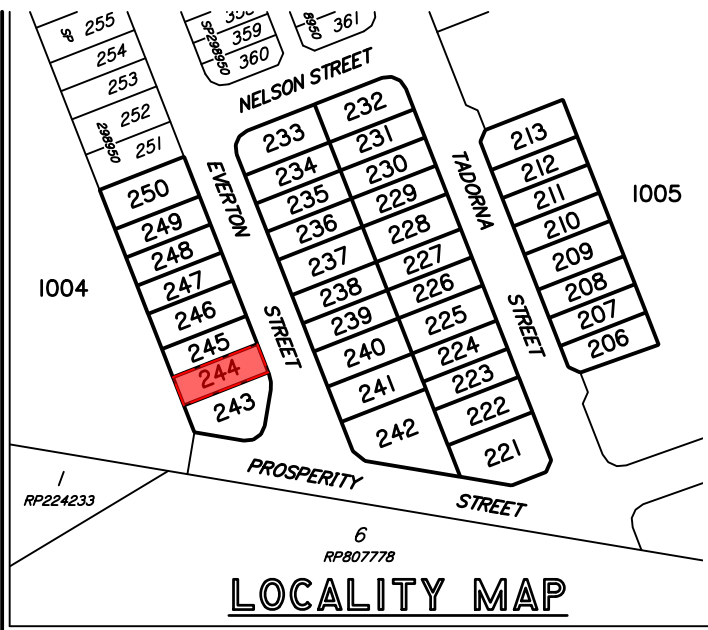
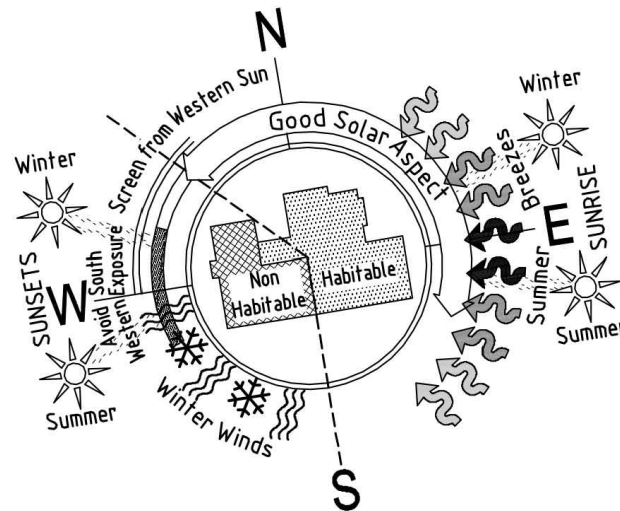
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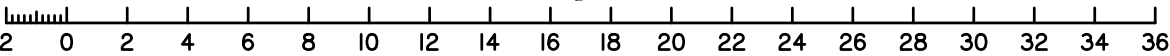
Contour Interval – 0.5 metre

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- x — x — Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



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A	ORIGINAL ISSUE	08/10/20	AV	TV
Issue	Details	Date	Drawn	Checked

HOUSE SITING PLAN  
DAHUA POINTCORP NARANGBA PTY LTD  
STAGE 8A "AMITY"  
CALLAGHAN ROAD, NARANGBA

Dwg No: A3-6099/244	Issue: A
Project: BNE150725	
File: B150725Sk9.dwg	



HOUSE SITING PLAN  
PROPOSED LOT 245

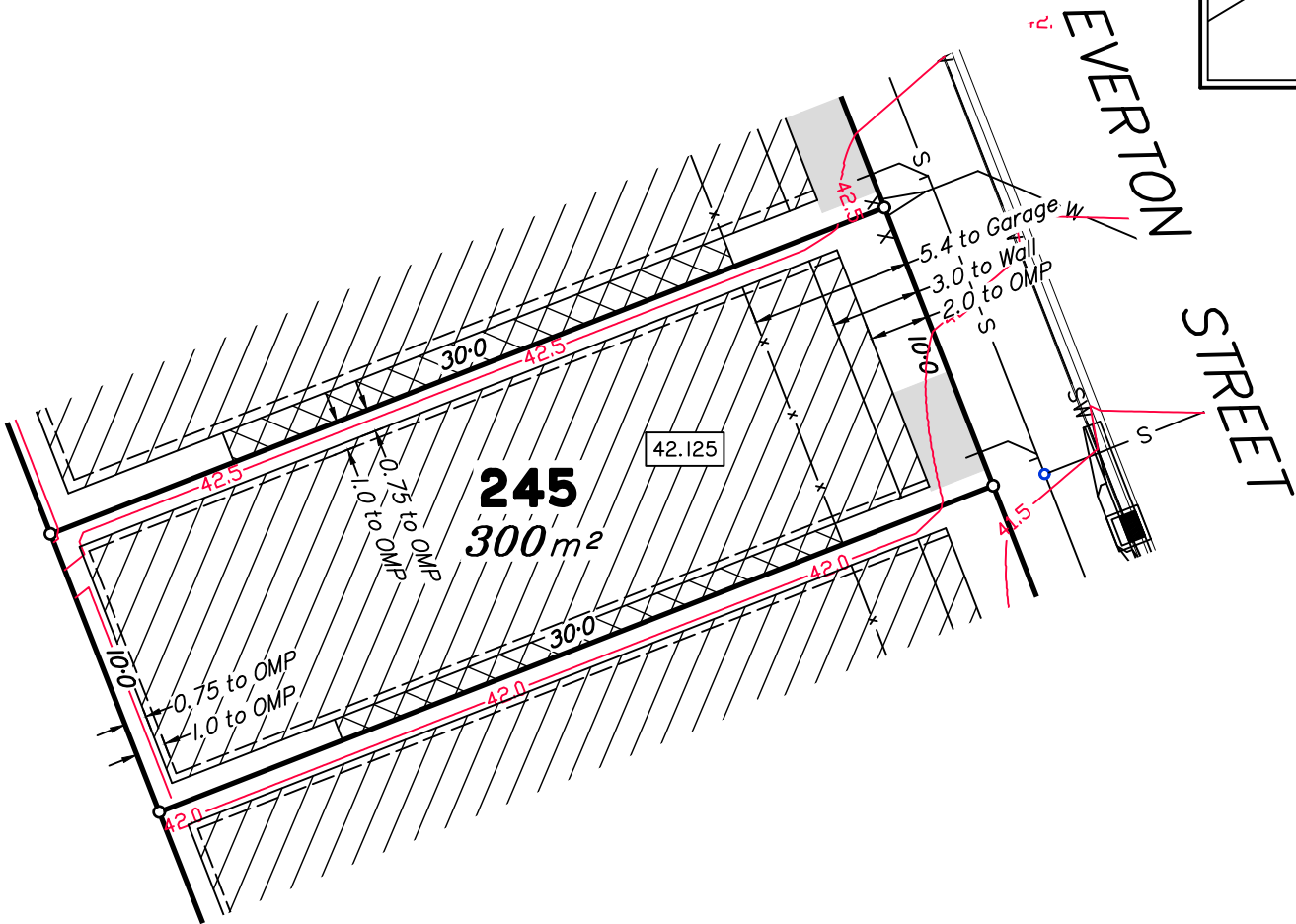
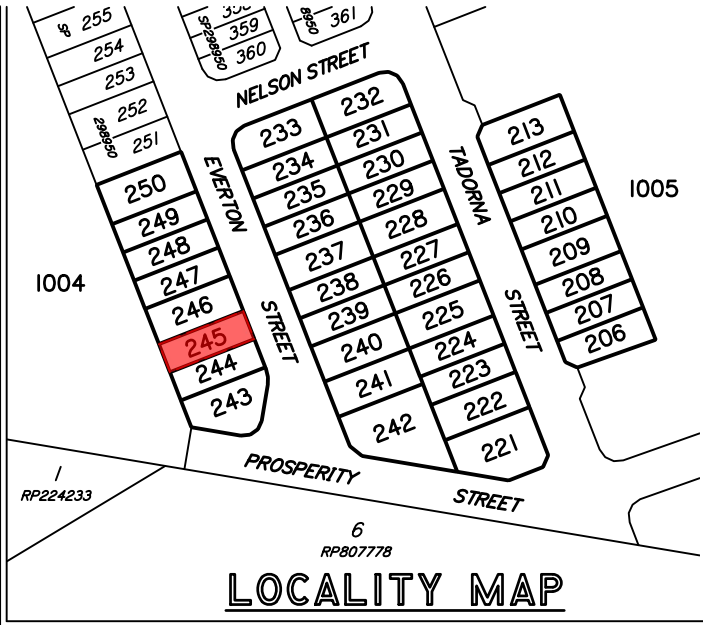
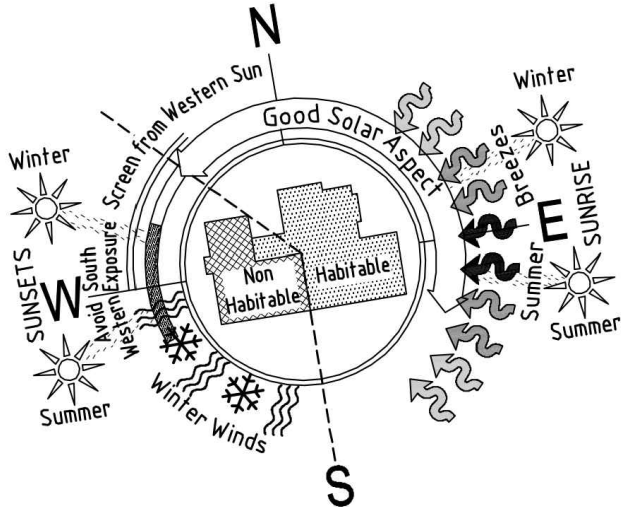
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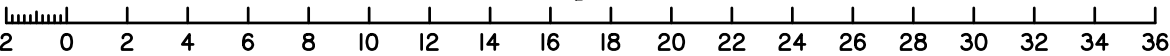
Contour Interval – 0.5 metre

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- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x — x — Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



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A	ORIGINAL ISSUE	08/10/20	AV	TV
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HOUSE SITING PLAN  
DAHUA POINTCORP NARANGBA PTY LTD  
STAGE 8A "AMITY"  
CALLAGHAN ROAD, NARANGBA

Dwg No: A3–6099/245	Issue: A
Project: BNE150725	
File: B150725Sk9.dwg	

HOUSE SITING PLAN  
PROPOSED LOT 246

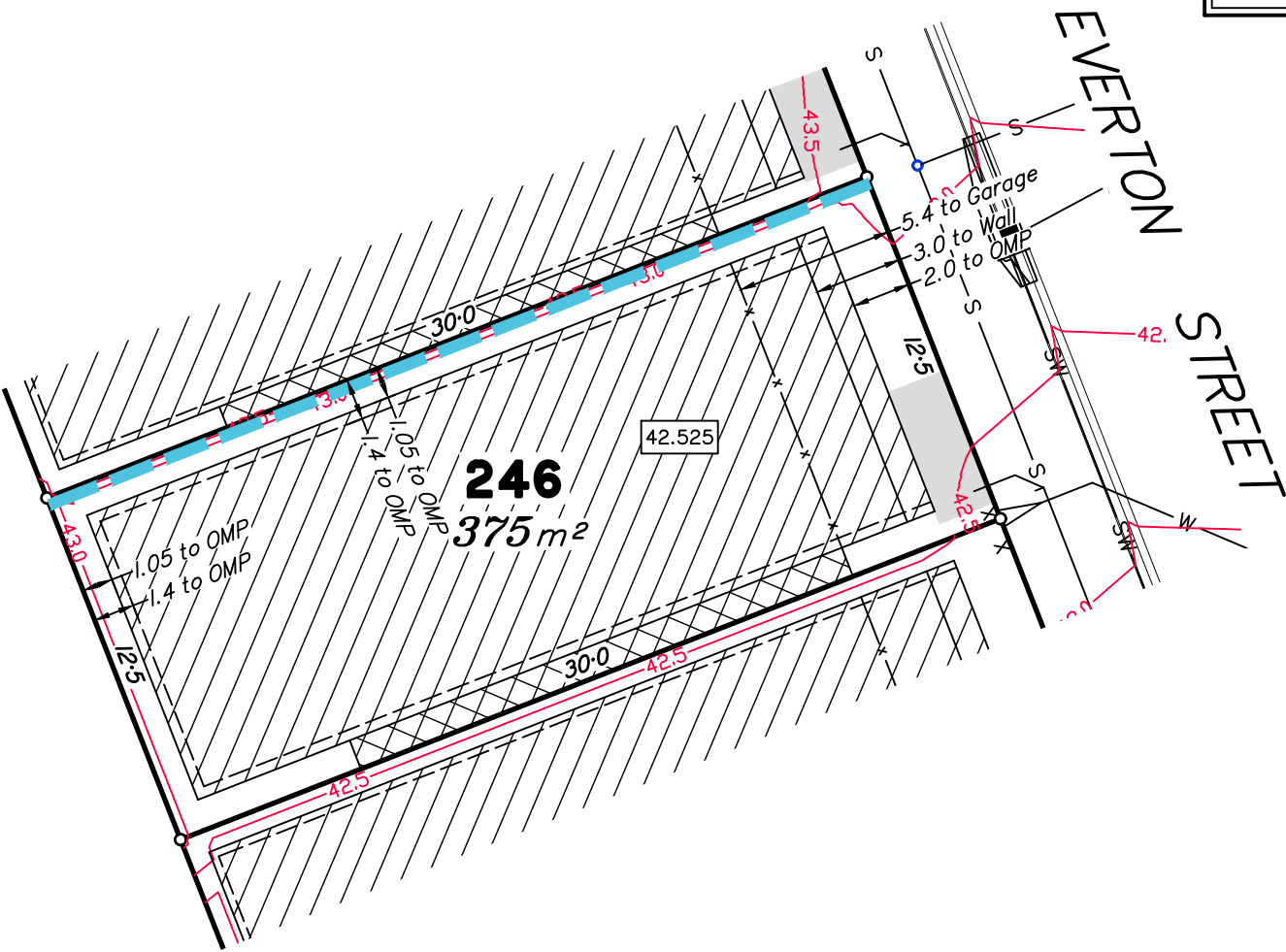
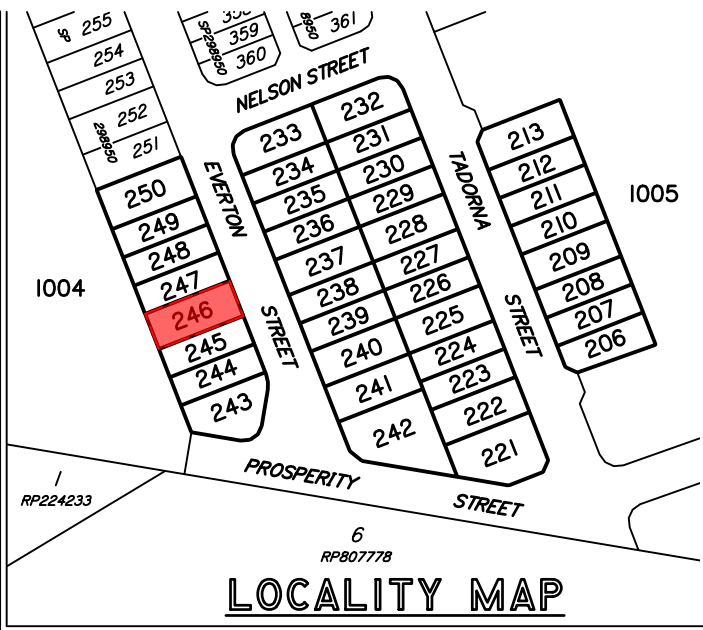
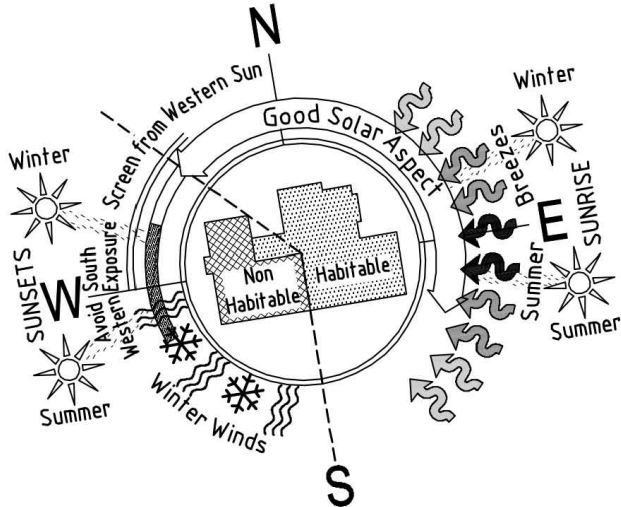
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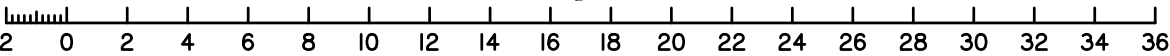
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- Lower Level
- Upper Level
- x — x — Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



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A	ORIGINAL ISSUE	08/10/20	AV	TV
Issue	Details	Date	Drawn	Checked

HOUSE SITING PLAN  
DAHUA POINTCORP NARANGBA PTY LTD  
STAGE 8A "AMITY"  
CALLAGHAN ROAD, NARANGBA

Dwg No: A3–6099/246	Issue: A
Project: BNE150725	
File: B150725Sk9.dwg	



HOUSE SITING PLAN  
PROPOSED LOT 247

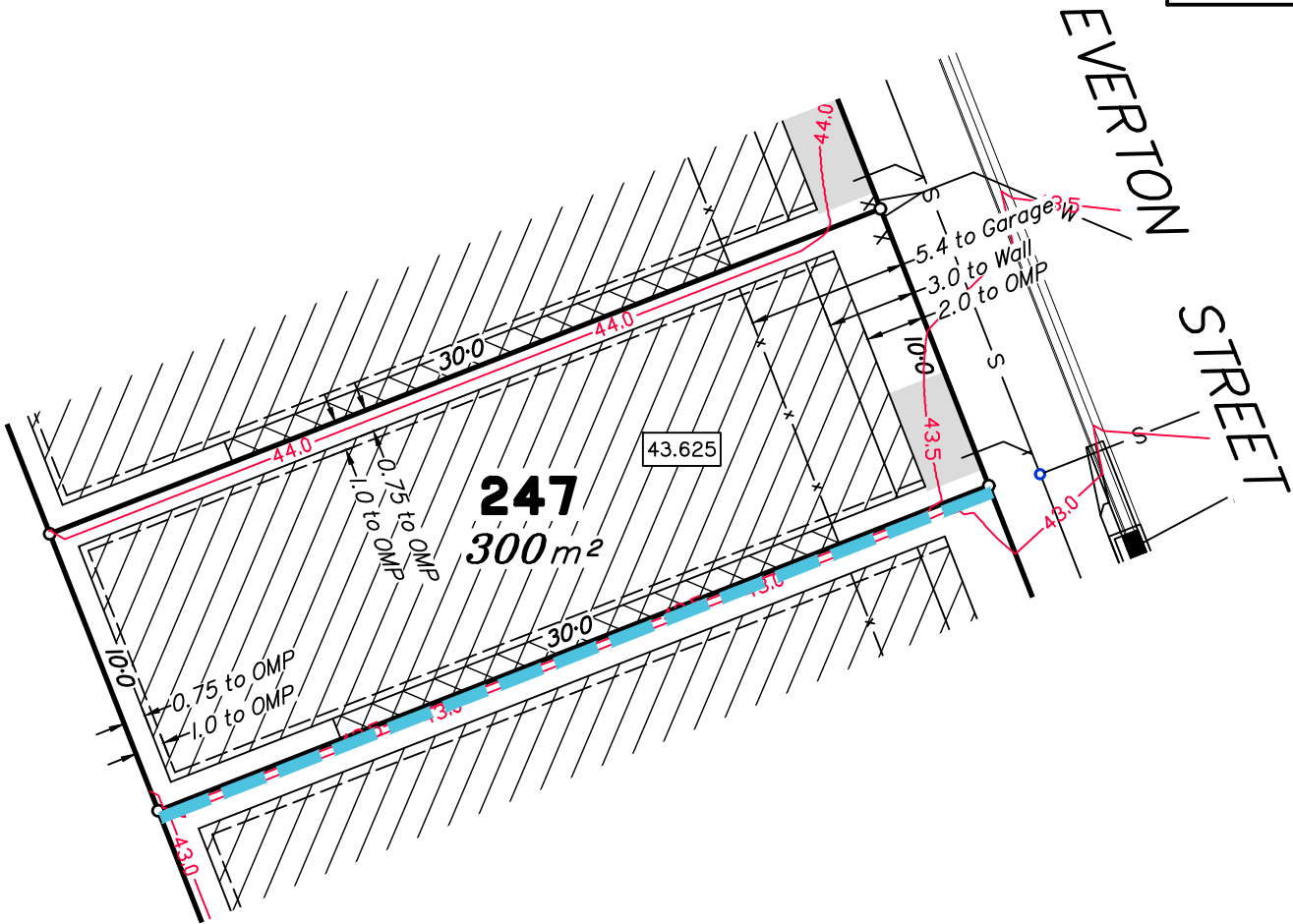
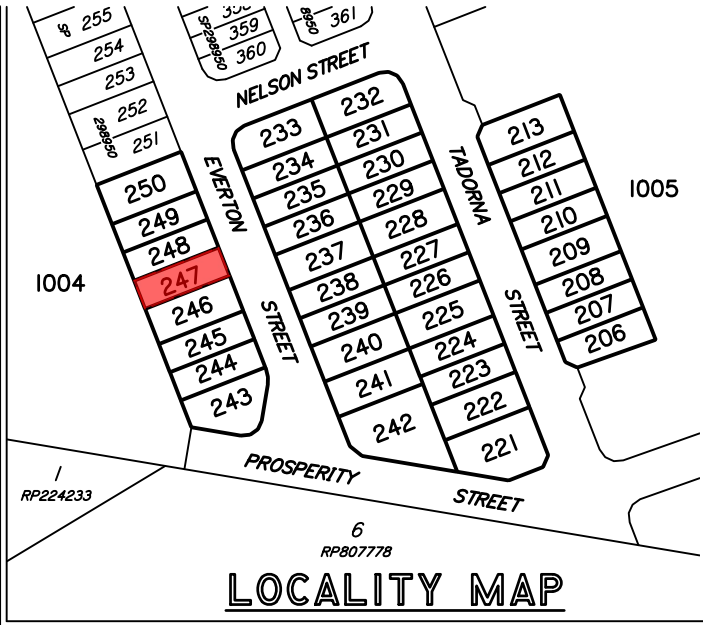
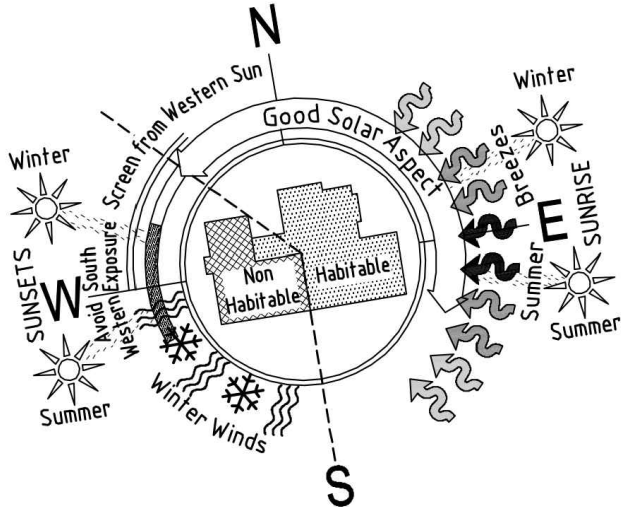
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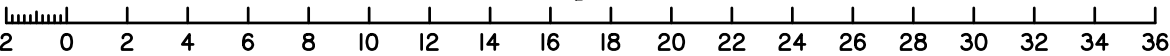
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Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



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Issue	Details	Date	Drawn	Checked

HOUSE SITING PLAN  
DAHUA POINTCORP NARANGBA PTY LTD  
STAGE 8A "AMITY"  
CALLAGHAN ROAD, NARANGBA

Dwg No: A3-6099/247	Issue: A
Project: BNE150725	
File: B150725Sk9.dwg	

HOUSE SITING PLAN  
PROPOSED LOT 248

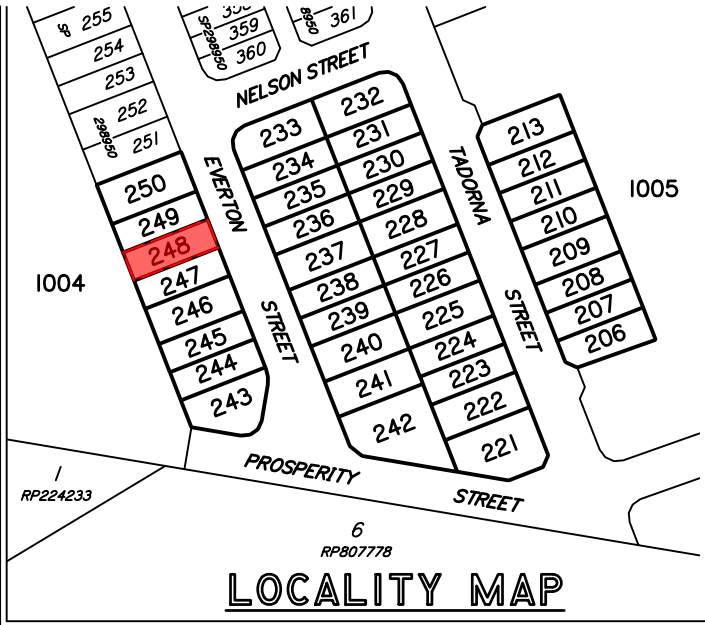
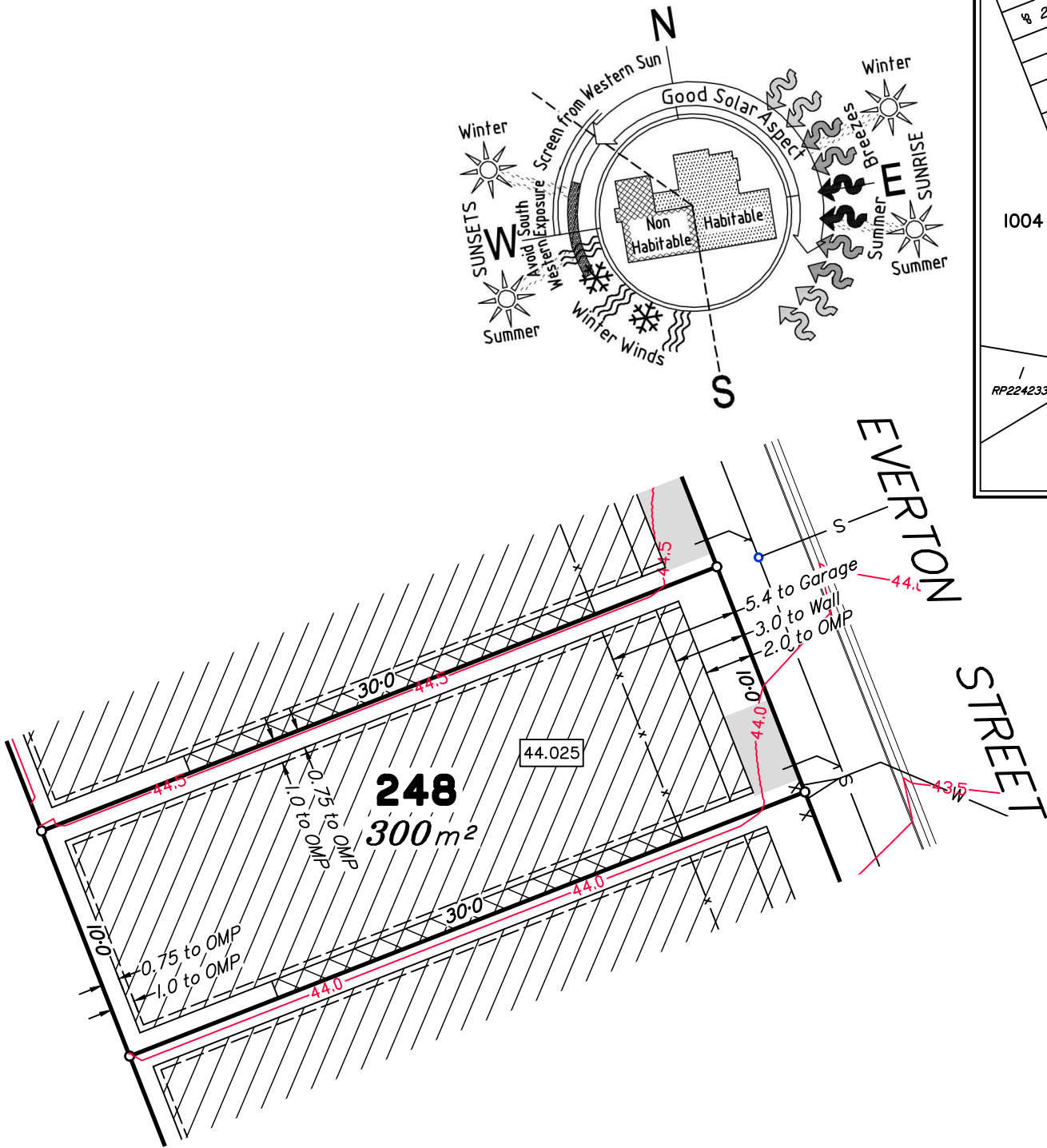
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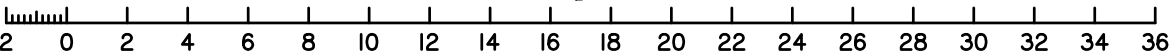
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STAGE 8A "AMITY"  
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HOUSE SITING PLAN  
PROPOSED LOT 249

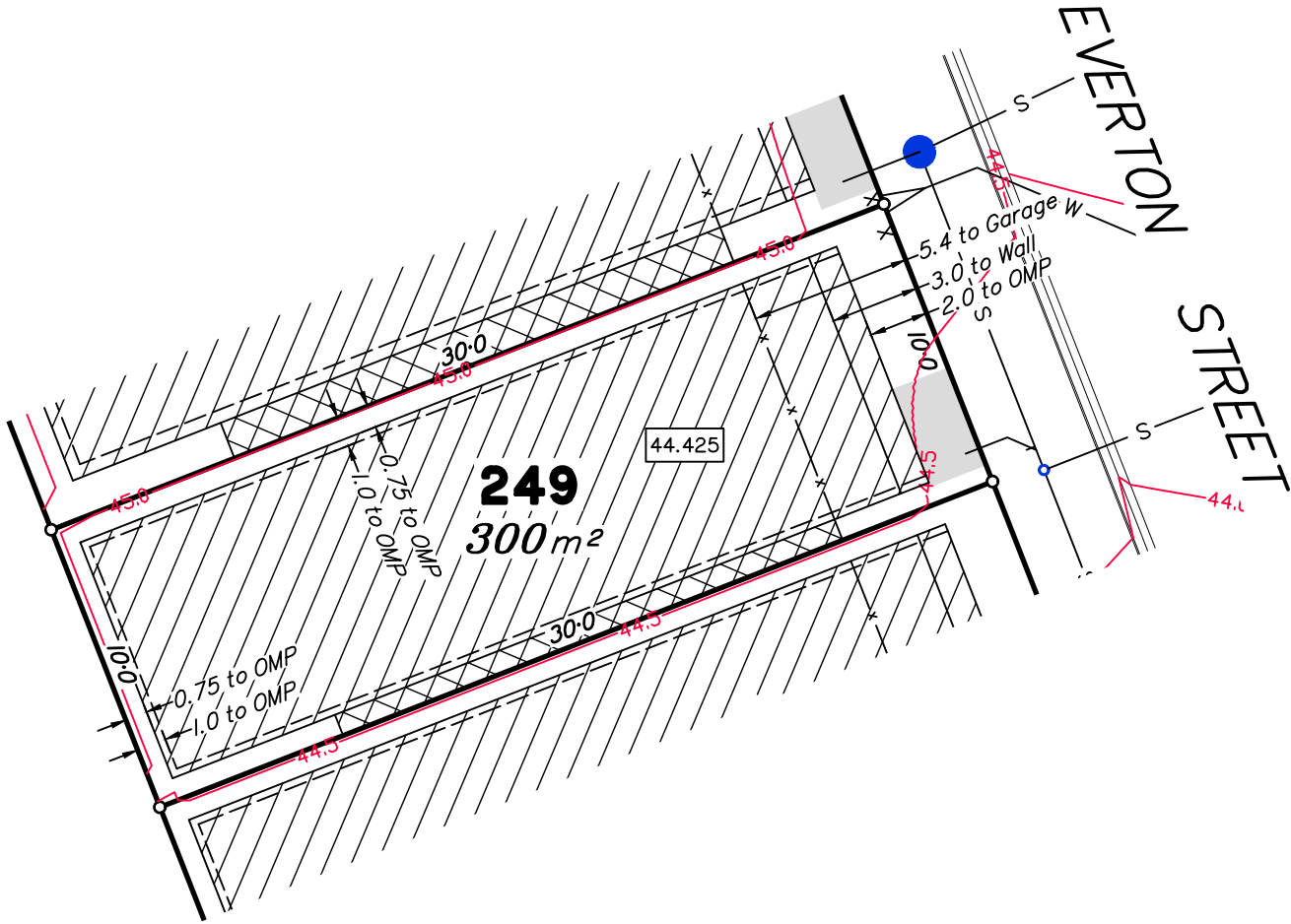
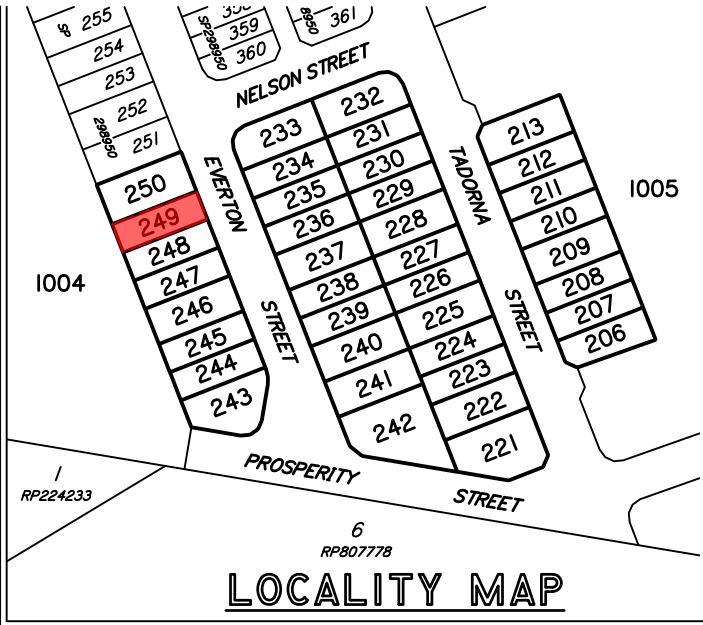
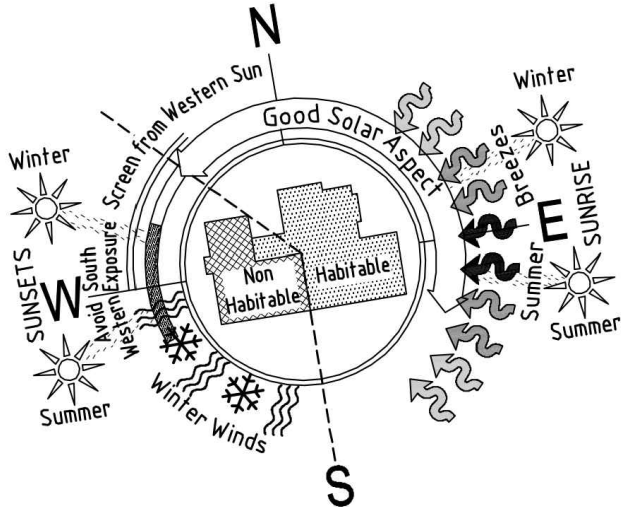
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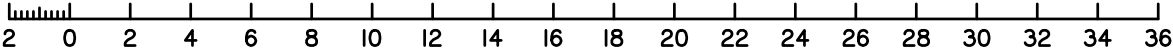
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HOUSE SITING PLAN  
PROPOSED LOT 250

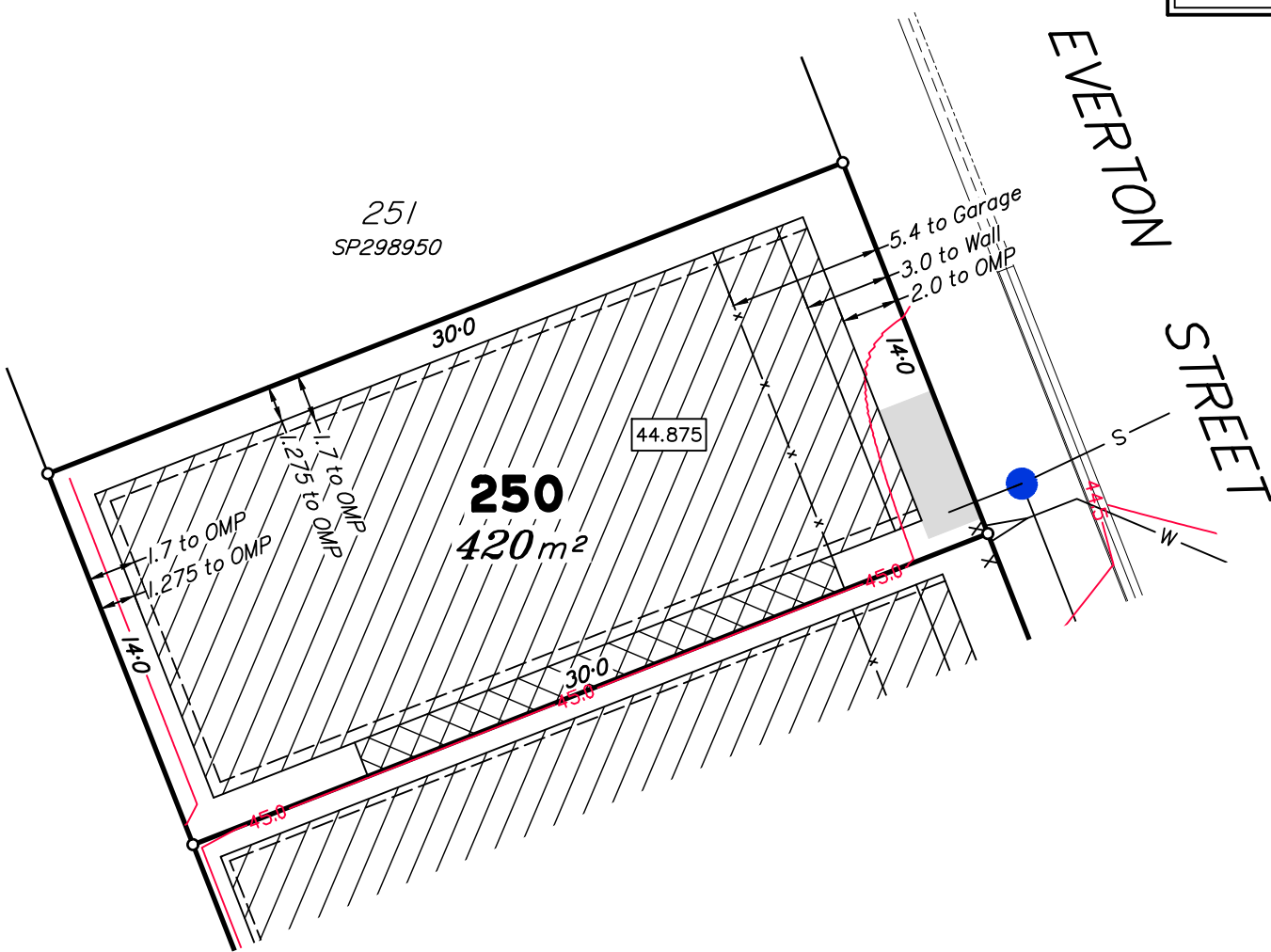
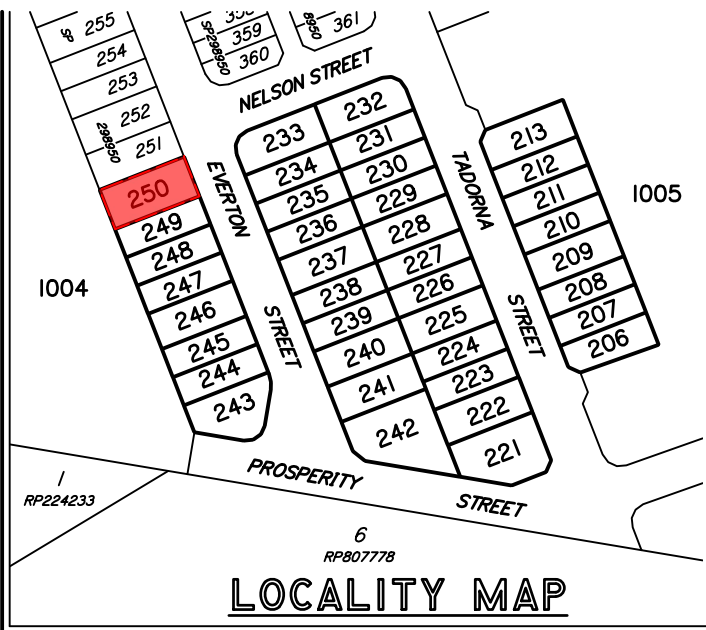
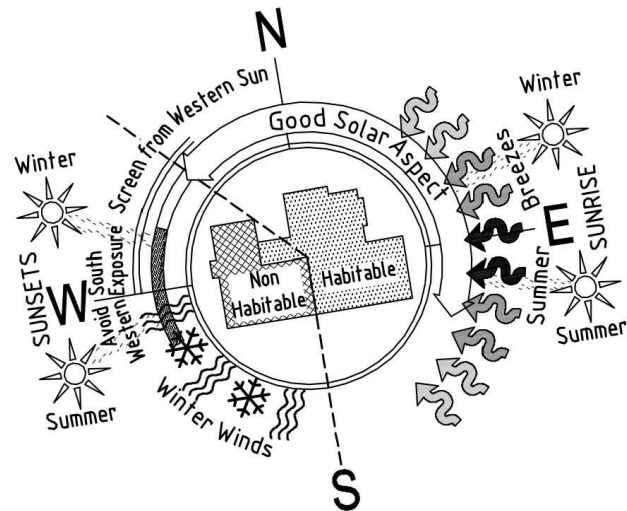
Cancelling part of Lot 1003 on SP298957 and  
Lots 1 & 2 on RP79384  
Locality of Narangba

1. These notes form an integral part of this plan. No part of this plan may be reproduced without these notes being included.
2. This preliminary house siting plan (PHSP) is intended as an aid in forming an appreciation of the house design potential of the site. It provides a diagrammatic representation of the current Moreton Bay Regional Council Planning Scheme (V4) Dwelling House Code and Queensland Development Code setback requirements applying to the proposed lot. Additional siting requirements may be dictated by the local authority planning scheme or imposed by conditions of the development application approval relating to the creation of the proposed lot. The details shown on this plan are general in nature and are not a comprehensive compilation of standards or conditions to which this proposed lot may be subject. Prospective buyers and builders should seek advice from the approving authority regarding the specific house siting and building restrictions applying to this proposed lot. In addition, service locations indicated on this plan are preliminary only and may differ from the as constructed product.
3. The PHSP is not a statutory disclosure.

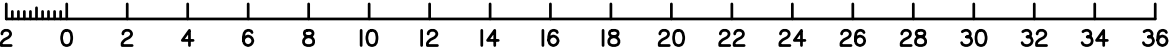
Contour Interval – 0.5 metre

- 50.0— Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- #### Pad Level
- S —● Sewer Line/ Manhole
- SW —● Stormwater Line / Manhole
- W —X Water Line / Fire Hydrant/ Stop Valve
- (SR) — Rising Sewer
- X — Water Meter
- — Easement Boundary
- Concrete Footpath or Driveway
- Building Location Envelope
- Built to Boundary Mandatory
- Lower Level
- Upper Level
- x — x — Garage Limit

Meridian: MGA Zone 56 ☒ Yes ☐ No  
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	08/10/20	AV	TV	HOUSE SITING PLAN DAHUA POINTCORP NARANGBA PTY LTD STAGE 8A "AMITY" CALLAGHAN ROAD, NARANGBA	Dwg No: A3–6099/250	Issue: A
						Project: BNE150725	
						File: B150725Sk9.dwg	
Issue	Details	Date	Drawn	Checked			