

## DWELLING HOUSE DESIGN GUIDELINES

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<b>BUILDING HEIGHT</b>		
Maximum Building Height	12m	
<b>BUILDING ENVELOPE</b>		
	<b>Setbacks (min)</b> <i>Where ≤8.5m in height</i>	<b>Setbacks (min)</b> <i>Where &gt;8.5m-12m in height</i>
<b>FRONTAGE SETBACKS (Primary Frontage)</b>		
Front Setback - To Wall	3.0m	6.0m
Front Setback - To OMP	2.0m	5.0m
Front Setback - To Covered Car Parking Space	5.4m	N/A
<b>FRONTAGE SETBACKS (Secondary Frontage - Street)</b>		
Secondary Frontage Setback - To Wall	2.0m	3.0m
Secondary Frontage Setback - To OMP	1.0m	3.0m
Secondary Frontage Setback - To Covered Car Parking Space	5.4m	N/A
<b>FRONTAGE SETBACKS (Secondary Frontage - Laneway)</b>		
Secondary Frontage Setback (Laneway) - To Wall and OMP	0.5m	0.5m
<b>SIDE &amp; REAR SETBACKS (Non Built to Boundary)</b>		
Side & Rear Setbacks (Non-BTB)	As Per QDC MP1.1 or MP1.2 ( <i>refer to Side Setbacks Table</i> )	
<b>BUILT TO BOUNDARY WALLS (0m - 0.2m Side Setback)</b>		
Where Lot Frontage is ≤7.5m	Mandatory both sides; Max. length 80% of boundary length & Max. BTB wall height of 7.5m	
Where Lot Frontage is >7.5m - 12.5m	Mandatory one side, as shown on the Approved Plan of Development; Max. length 60% of boundary length & Max. BTB wall height of 7.5m	
Where Lot Frontage is >12.5 - 18m	Optional one side, as shown on the Approved Plan of Development; Max. length of 15m or 60% of the length of the boundary (whichever is lesser) & Max. BTB wall height of 7.5m	
Where Lot Frontage is >18m	Not Permitted	
<b>MAXIMUM SITE COVER</b>		
	<b>Site Cover (max)</b> <i>Where ≤8.5m in height</i>	<b>Site Cover (max)</b> <i>Where &gt;8.5m-12m in height</i>
Lot Area 300m <sup>2</sup> or less	75%	50%
Lot Area 301-401m <sup>2</sup>	70%	50%
Lot Area 401m <sup>2</sup> -500m <sup>2</sup>	60%	60%
Lot Area 501m <sup>2</sup> +	60%	50%
<b>GARAGE OPENINGS (Maximum Width)</b>		
Lot Frontage Less than 12.5m	Single Storey: Max. width 50% of the lot frontage; Two Storey: Max. 6.0m wide and recessed 1.0m behind front wall or balcony of upper level	
Lot Frontage 12.5m - 18m	Max. 6.0m wide	
Lot Frontage Greater than 18m	Not Specified	
<b>ADDITIONAL DESIGN REQUIREMENTS</b>		
Preferred Garage Location	Along built to boundary wall or otherwise indicated on the Plan of Development	
Minimum Number of Car Spaces	1 per Dwelling House	
Crossover Widths	Maximum of 40% of the frontage access is being obtained from or 4.8m, whichever is the lesser	
Casual Surveillance	Dwelling house must address primary frontage with a minimum of a front door, window(s) and pedestrian entrance; A minimum of one habitable room window having an area of at least 1m <sup>2</sup> on each level overlooks each adjoining public space	

## SIDE SETBACKS TABLE

Road Frontage (in metres)	Side Boundary Clearances (in metres)			
	≤4.5m building height	>4.5m to 7.5m building height	>7.5m to 10.5m building height	>10.5m to 12m building height
15.001 or greater	1.500m	2.0m	2.5m	3.0m
14.501-15.0	1.425m	1.9m		
14.001-14.5	1.350m	1.8m		
13.501-14.0	1.275m	1.7m		
13.001-13.5	1.200m	1.6m		
12.501-13.0	1.125m	1.5m		
12.001-12.5	1.050m	1.4m		
11.501-12.0	0.975m	1.3m		
11.001-11.5	0.900m	1.2m		
10.501-11.0	0.825m	1.1m		
10.5 or less	0.750m	1.0m		

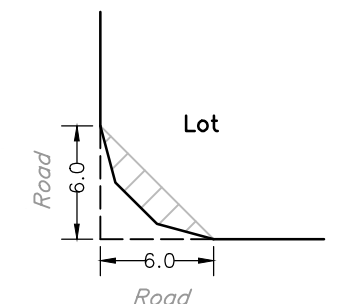
- Side setbacks shown above have been derived from QDC MP1.1 & MP1.2.
- Side setbacks area measured to Outermost Projection (OMP).
- Where building height is greater than 7.5m, minimum side and rear setbacks are to be 2m plus 0.5m for every 3m or part of 3m by which the height exceeds 7.5m.

Refer to additional sheets for Typical Building Location Envelopes (Stages 1-3 & 10)

- Design guidelines in table have been derived from the Dwelling House Code of the Moreton Bay Regional Council Planning Scheme V4 and are applicable to the design of dwelling houses within the subject site.
- Additional requirements may apply to the design of dual-occupancy dwellings and dwelling houses with secondary dwellings.
- Non-compliance with the siting and design provisions may require a concurrence agency response from Council.
- To be read in conjunction with the Approved Plan of Development for the subject site.



**Special siting requirements for corner allotments**



**NOTE:**  
Structures in shaded area shall not exceed 2.0m in height

Issue	Revision	Int	Date
A	Original issue	AV	7/05/19
B	Stages 1-3 & 10	AV	4/06/19
C	Notes match MBRC PS V4	AV	6/04/20

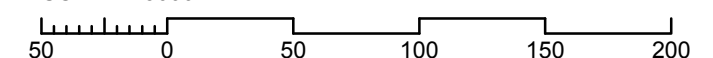
## Building Envelope Plan Amity Estate, Narangba

Local Authority  
Client

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Layout Configuration prepared by RPS.

Project BNE150725  
 File B150725SK7.dwg  
 Date 6/04/2020  
 Drawing A3 5763  
 Revision C  
 Sheet 1 of 5

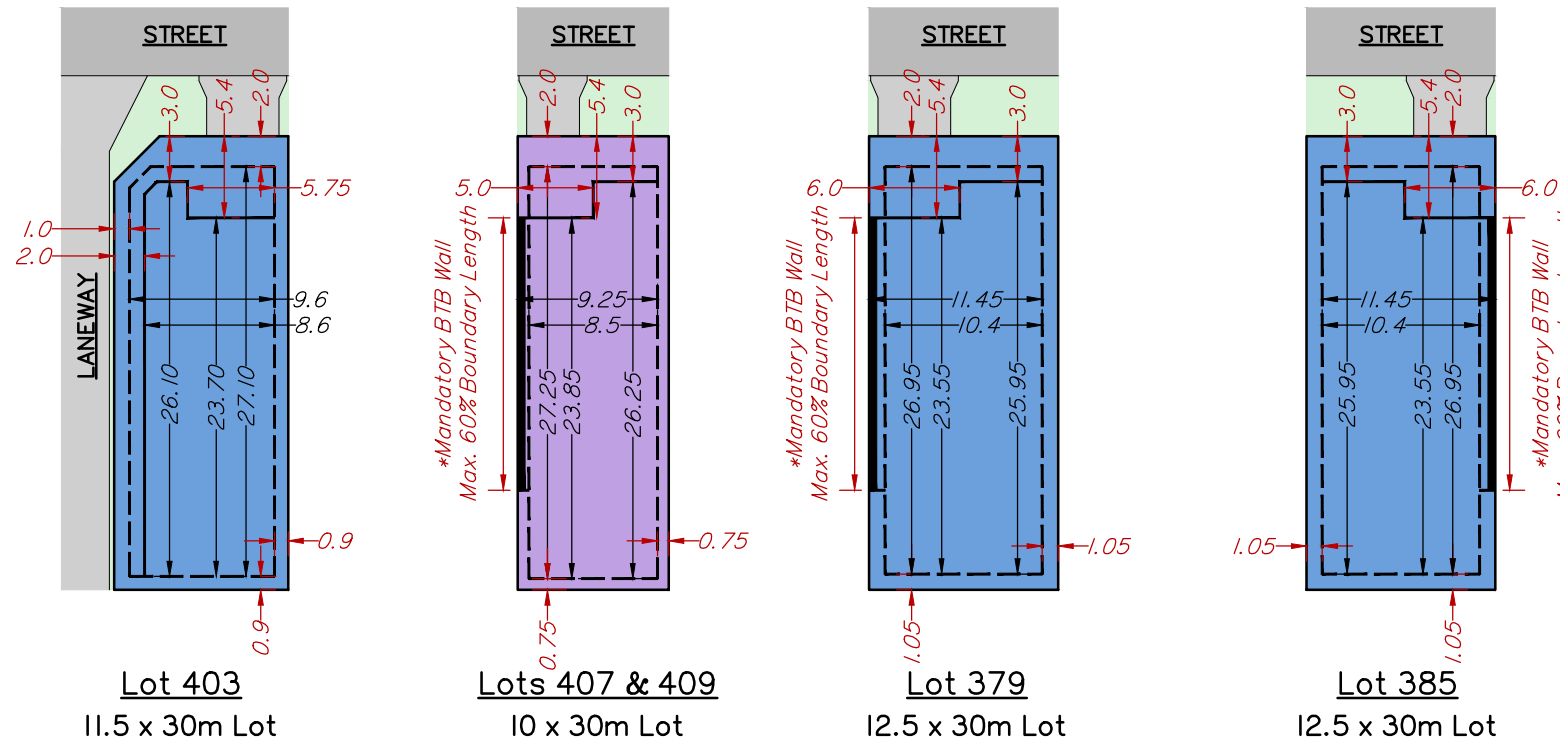
LEGEND

- - Setback to OMP
- - Setback to Wall
- - Built to Boundary Wall
- 4.5 - Minimum Setback
- 4.5 - BLE Internal Dimension

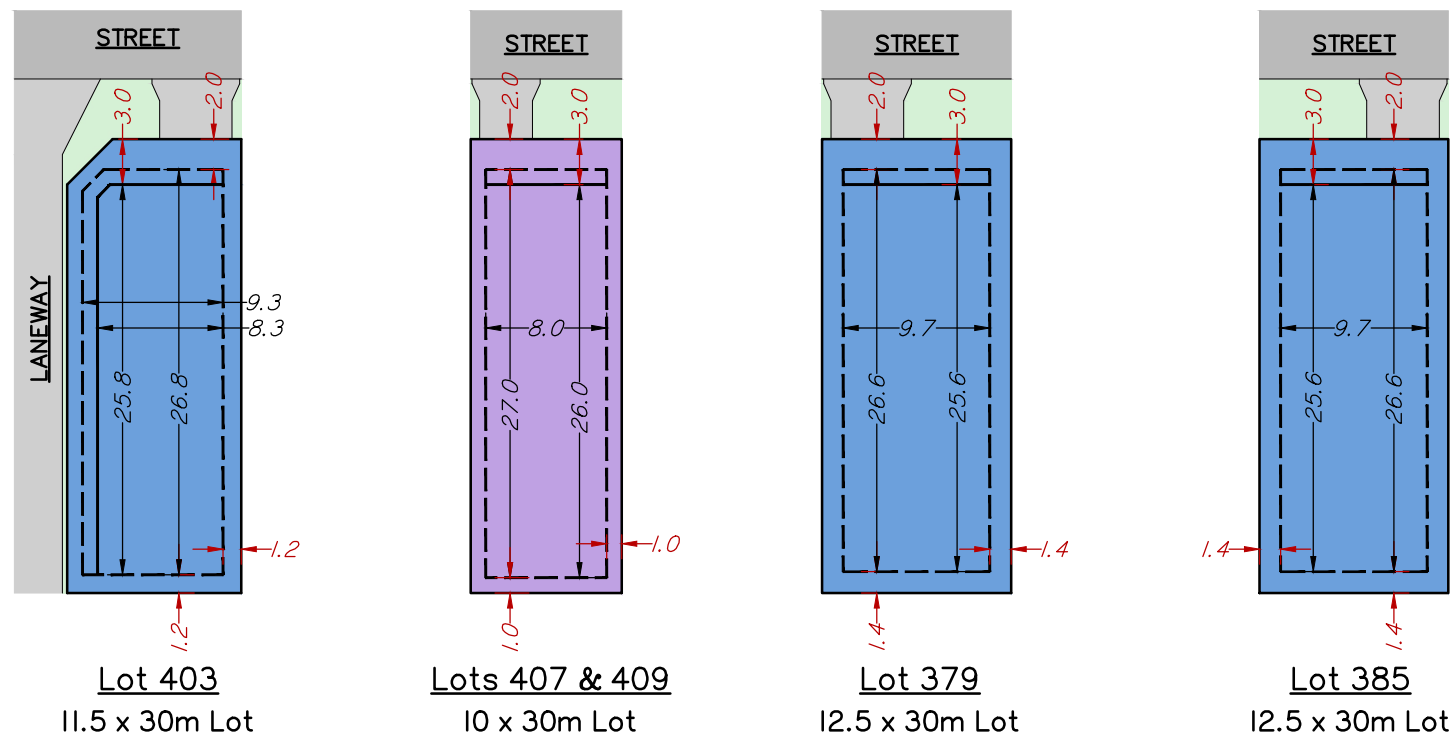
# STAGE 1 - BLEs

Alternate setback requirements apply where building height exceeds 7.5m, refer to design guidelines on Sheet 1

## Ground Floor ≤4.5m height



## First Floor >4.5m - 7.5m height



Note:  
\* Built to Boundary walls to be provided as per locations shown on approved Plan of Development and may be provided on the First Floor.

Refer to the Approved Plan of Development for lot configuration.

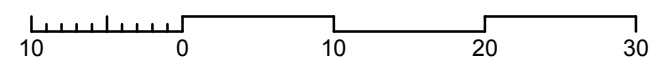
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 Date 6/04/2020 Sheet 2 of 5

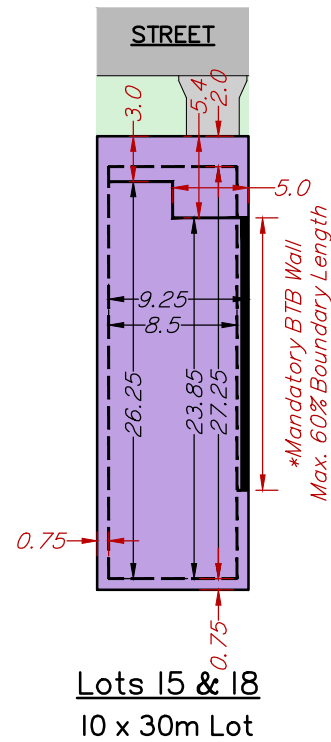
LEGEND

- - - - - Setback to OMP
- — — — — Setback to Wall
- ▬▬▬▬▬ Built to Boundary Wall
- ↔4.5↔ - Minimum Setback
- ↔4.5↔ - BLE Internal Dimension

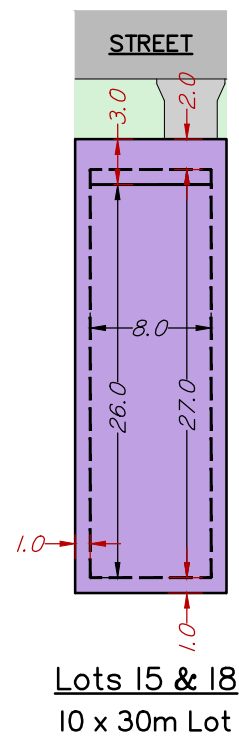
# STAGE 2 - BLEs

Alternate setback requirements apply where building height exceeds 7.5m, refer to design guidelines on Sheet 1

Ground Floor  
≤4.5m height



First Floor  
>4.5m - 7.5m height



Note:  
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Refer to the Approved Plan of Development for lot configuration.

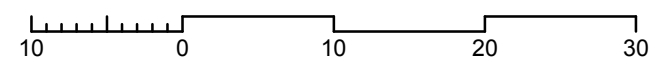
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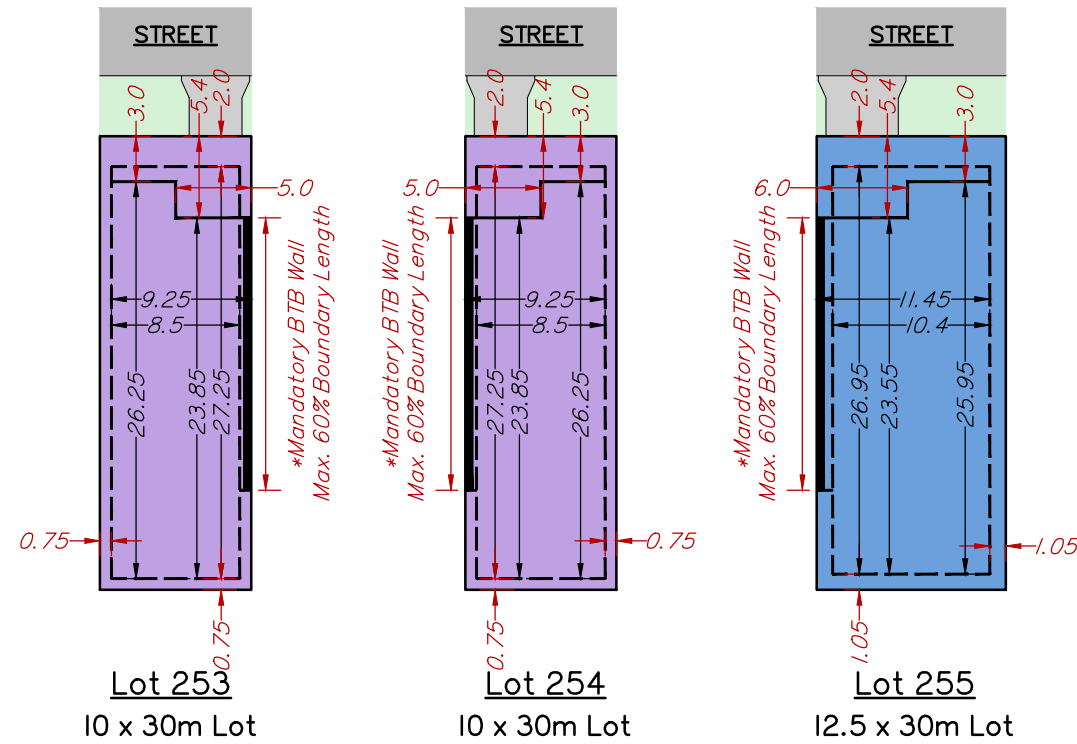
LEGEND

- - Setback to OMP
- - Setback to Wall
- - Built to Boundary Wall
- 4.5 - Minimum Setback
- 4.5 - BLE Internal Dimension

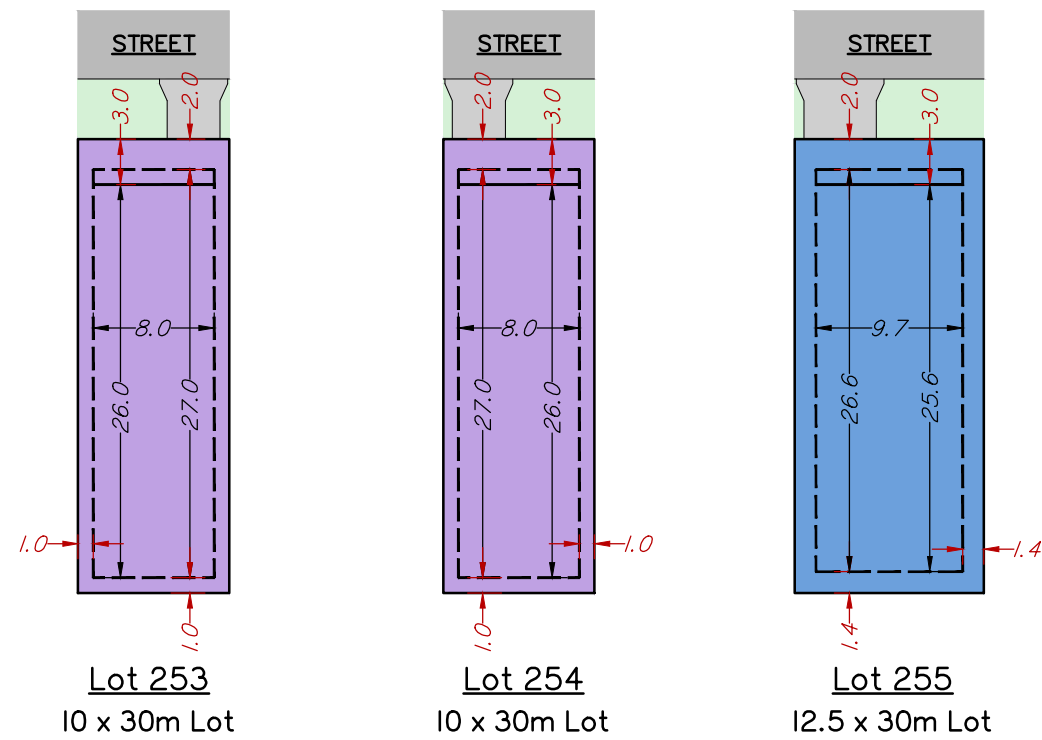
# STAGE 3 - BLEs

Alternate setback requirements apply where building height exceeds 7.5m, refer to design guidelines on Sheet 1

## Ground Floor ≤4.5m height



## First Floor >4.5m - 7.5m height



Note:  
\* Built to Boundary walls to be provided as per locations shown on approved Plan of Development and may be provided on the First Floor.

Refer to the Approved Plan of Development for lot configuration.

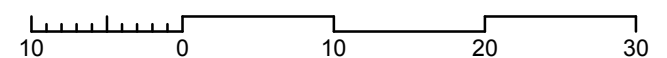
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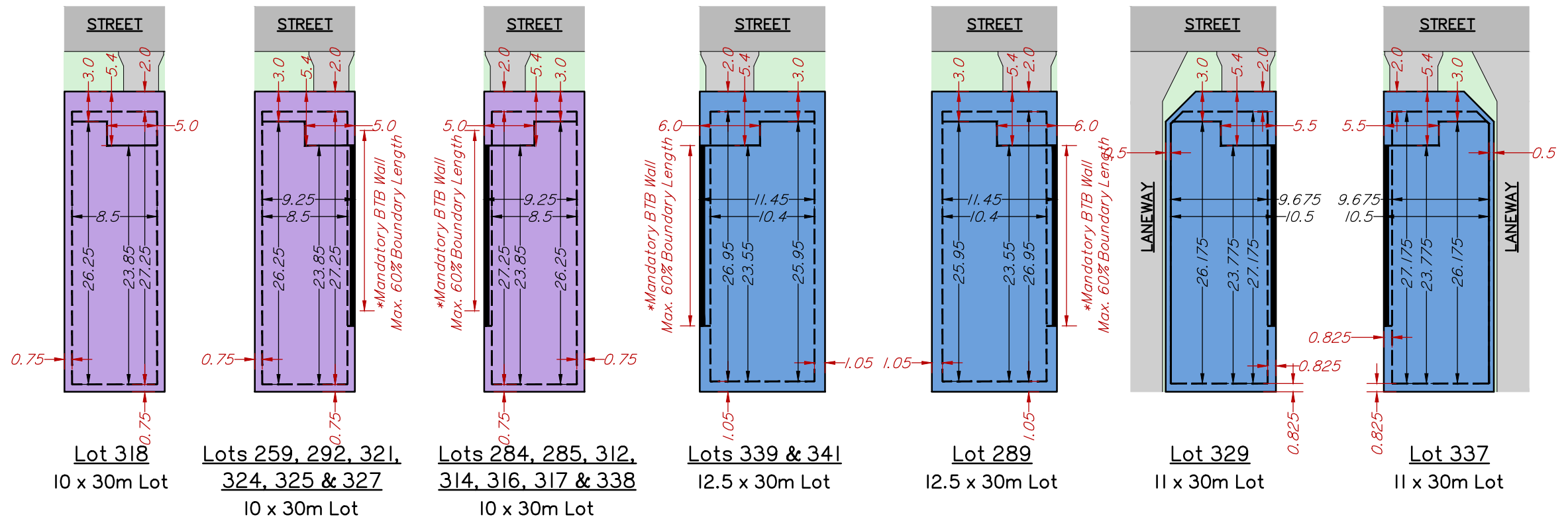
LEGEND

- - - - - Setback to OMP
- — — — — Setback to Wall
- ▬ Built to Boundary Wall
- 4.5 Minimum Setback
- 4.5 BLE Internal Dimension

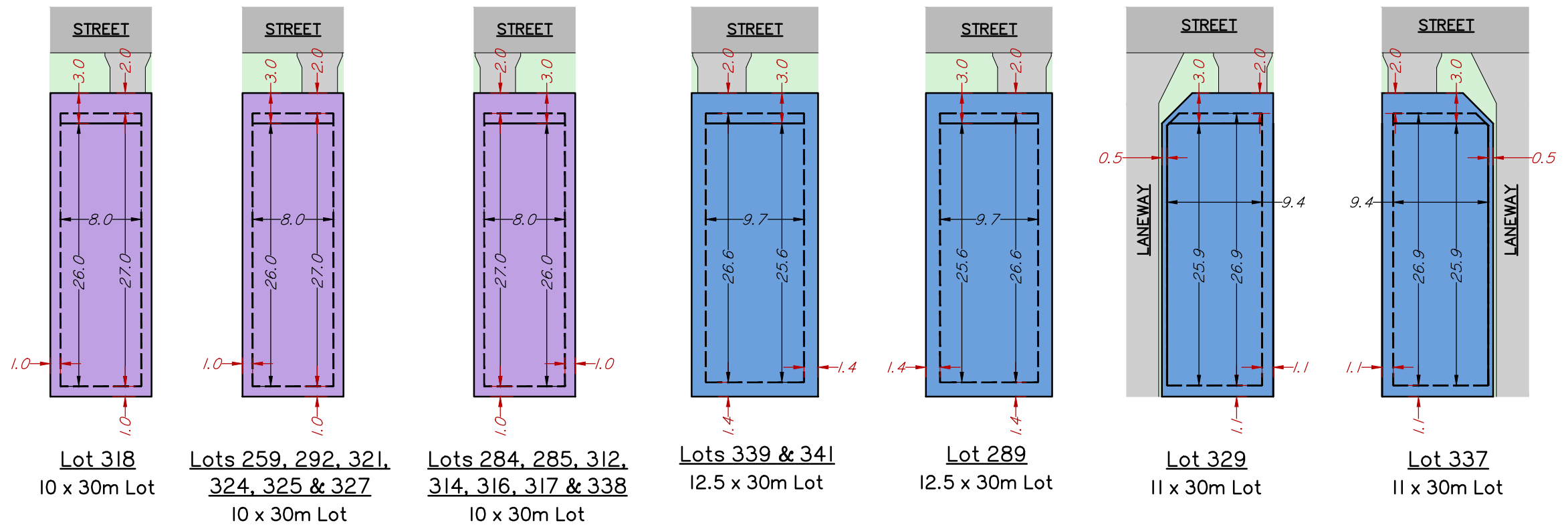
# STAGE 10 - BLEs

Alternate setback requirements apply where building height exceeds 7.5m, refer to design guidelines on Sheet 1

## Ground Floor ≤4.5m height



## First Floor >4.5m - 7.5m height



Note:  
 \* Built to Boundary walls to be provided as per locations shown on approved Plan of Development and may be provided on the First Floor.  
 \*\* Concurrence agency response required from Council where a single storey dwelling is created on a lot with a frontage of less than 12.5m and contains a garage opening greater than 50% the lot frontage width.

Refer to the Approved Plan of Development for lot configuration.

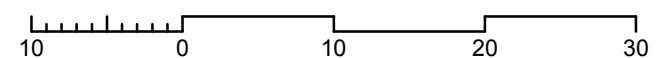
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